



## Arlington Conservation Commission

**Date:** Thursday, March 20, 2025

**Time:** 7:00 PM

**Location:** Conducted by Remote Participation.

Please register in advance for this meeting. Reference materials, instructions, and access information for this specific meeting will be available 48 hours prior to the meeting on the Commission's agenda and minutes page. This meeting will be conducted in a remote format consistent with Chapter 2 of the Acts of 2023, which further extends certain COVID-19 measures regarding remote participation in public meetings until March 31, 2025. Please note: Not all items listed may in fact be discussed and other items not listed may be brought up for discussion to the extent permitted by law. This agenda includes those matters which can be reasonably anticipated to be discussed at the meeting.

### Agenda

1. Administrative
  - a. Review Meeting Minutes.
2. Discussion
  - a. Forest School Update.
  - b. Enforcement Order: 335 Mystic Street.
  - c. Enforcement Order: 66-66R Dudley Street/993 Massachusetts Avenue.
  - d. Water Bodies Working Group.
  - e. Tree Committee Update.
  - f. Symmes Woods Forest Management Plan Discussion and Vote [8:00 PM or later].
3. Hearings

#### **Notice of Intent – 15 Ryder Street.**

Notice of Intent – 15 Ryder Street.

The Arlington Conservation Commission will hold a public hearing to consider a Notice of Intent (NOI) under the Wetlands Protection Act and Arlington Bylaw for Wetlands Protection for construction of a brewery and beer garden at 15 Ryder Street. The jurisdictions that are part of the proposal are Riverfront Area, Buffer Zone, and Adjacent Upland Resource Area.



## **Town of Arlington, Massachusetts**

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### **Review Meeting Minutes.**

#### **Summary:**

Review Meeting Minutes.



## Town of Arlington, Massachusetts

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**Enforcement Order: 335 Mystic Street.**

**Summary:**

Enforcement Order: 335 Mystic Street.

**ATTACHMENTS:**

	Type	File Name	Description
▢	Reference Material	335_Mystic_Street_- _Note_from_Louise_Piazza.pdf	335 Mystic Street - Note from Louise Piazza

## David Morgan

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**From:** LOUISE PIAZZA <luizafashions@comcast.net>  
**Sent:** Thursday, February 20, 2025 1:52 PM  
**To:** David Morgan  
**Subject:** Fwd: Pictures of hill  
**Attachments:** IMG\_4238.jpg; IMG\_4240.jpg

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi David, these are the other attached photos taken October 26, 2025.

Also noted on the enforcement order you mention "restoration of sumac grove. The vegetation is "Japanese Knotweed" which according to the [https://linkprotect.cudasvc.com/url?a=https%3a%2f%2fISSG.org&c=E,1,pxO4jDB1HYw4x9EXkEtISPfgMxb1M-RhV02HfTskc0N70BPENi3InZ-bXPbNPKFN8RQP5VmNc-OuXDak\\_gEUNJGjRB8Alxz1zln1By2Xb1chW4ydBB4-&typo=1](https://linkprotect.cudasvc.com/url?a=https%3a%2f%2fISSG.org&c=E,1,pxO4jDB1HYw4x9EXkEtISPfgMxb1M-RhV02HfTskc0N70BPENi3InZ-bXPbNPKFN8RQP5VmNc-OuXDak_gEUNJGjRB8Alxz1zln1By2Xb1chW4ydBB4-&typo=1) is a very invasive species in this area.

Louise Piazza

> ----- Original Message -----

> From: "Hall, Chris" <Chris.Hall@Arbella.com>  
> To: "luizafashions@comcast.net" <luizafashions@comcast.net>  
> Date: 12/16/2024 10:53 PM EST  
> Subject: Pictures of hill  
>  
>  
> And here are the other two. I took all these pictures on October 26th

>  
> From: 6174707710@vzwpix.com <6174707710@vzwpix.com>  
> Sent: Saturday, December 14, 2024 6:10 PM  
> To: Hall, Chris <Chris.Hall@Arbella.com>  
> Subject:  
> This email message is intended only for the addressee(s) and contains information that may be confidential. If you are not the intended recipient please notify the sender by reply email and immediately delete this message. Use, disclosure or reproduction of this email by anyone other than the intended recipient(s) is strictly prohibited.



## David Morgan

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**From:** LOUISE PIAZZA <luizafashions@comcast.net>  
**Sent:** Thursday, February 20, 2025 1:43 PM  
**To:** David Morgan  
**Subject:** enforcement order conservation committee  
**Attachments:** back hill mystic street 001.jpg

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi David Morgan,

Attached is a photo taken approximately 1999-2000. I have also attached recent photos taken October 2024.

This earlier photo proves the property is similar to the way it was back then. I have not clear-cut or removed any trees or vegetation on the property.

I have trimmed, but not removed, the Knotweed as I have always done. It is invasive, as you know, and it does grow back each and every year because I do not uproot it. Due to the neighbors leaving the property unmanageable, my property appears to look like I have cut down trees, which is not the case. The fact is, this is the way the property has always been for years now.

I would appreciate your consideration in this matter and I look forward to speaking with you about this.

Respectfully,  
Louise Piazza

The other 2 photos taken on October 2025 will arrive shortly.

Louise Piazza



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## Town of Arlington, Massachusetts

### Symmes Woods Forest Management Plan Discussion and Vote [8:00 PM or later].

#### Summary:

Symmes Woods Forest Management Plan Discussion and Vote [8:00 PM or later].

#### ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	Symmes_-_Restoration_Plan_Outline.pdf	Symmes - Restoration Plan Outline.pdf

# Ongoing Forest Restoration Program: Reclaiming an Invasive-Infested Forest

*Objective: Restore the forest ecosystem by removing invasive species, promoting native biodiversity, and ensuring long-term ecological balance.*

## Phase I: Assessment & Planning (Years 1-2)

### 1. Baseline Ecological Survey **COMPLETED**

- Identify invasive and noxious species:
  - Boxelder *Acer negundo*
  - Wild Rose *Rosa multiflora*
  - Poison Ivy *Toxicodendron radicans*
  - Buckthorn *Rhamnus cathartica*
  - Knotweed *Fallopia japonica*
  - Tree of Heaven *Ailanthus altissima*
  - Black Locust *Robina pseudoacacia*
  - Norway Maple *Acer platanoides* **\*See note 1 below.**
- Identify non-invasive species:
  - Red Oak *Quercus rubra*
  - White Oak *Quercus alba*
  - Black Cherry *Prunus serotina*
  - Black Oak *Quercus velutina*
  - Shagbark Hickory *Carya ovata*
  - Red Maple *Acer rubrum*
  - White Pine *Pinus strobus*
- Identify sample of targeted native species to plant (based on availability):
  - Red Oak *Quercus rubra*
  - Swamp White Oak *Quercus bicolor*
  - White Oak *Quercus alba*
  - Red Maple *Acer rubra*
  - Sugar Maple *Acer saccharum*
  - White Pine *Pinus strobus*
  - River Birch *Betula nigra*
  - Jefferson Elm *Ulmus americana*
  - White Spruce *Picea glauca*
  - Shadblow Service Berry *Amelanchier canadensis*
  - Winterberry *Ilex verticillata*
  - Mt Laurel *Kalmia latifolia*
  - Lowbush Blueberry *Vaccinium angustifolium*
  - Highbush Blueberry *Vaccinium corymbosum*
- Assess soil health, water sources, and wildlife populations.
- Map areas with high invasion density.

### 2. Develop a Restoration Plan **PROPOSED**

- Set short-term (2-year), mid-term (3 to 15-year), and long-term (15+ year) goals.
  - Short-term plan to incorporate and document and schedule Phase 1.
  - Mid-term plan is the implementation and production of the plan.

- Long-term plan is the ongoing maintenance to ensure success of restoration.
- Determine removal methods (mechanical, chemical, biological).
  - Removal methods will consist of a hybrid approach incorporating mechanical, biological, and chemical (when needed) methods.
- Establish monitoring protocols.
  - Monitoring will have two categories, ecological and physical site.
    1. Ecological monitoring will be conducted by a consulting arborist with a focus on ensuring that the plan is being adhered to and appropriate progress and is made and milestones achieved.
    2. Monitoring by a consulting arborist will be conducted quarterly and field reports from each monitor visit will be provided for distribution.
  - Physical site monitoring will be conducted by an agent of the owner to ensure site integrity. They will include:
    1. Abutters compliance, i.e. any encroachments
    2. Bi-Annual Clean Ups organized by the owner's agent to maintain a clean and debris-free site.
    3. Suggested frequency of the monitoring visits are early spring and late fall.

### 3. Community & Stakeholder Engagement **ONGOING**

- Partner with conservation groups, universities, and local agencies to determine available resources.
- Develop educational programs for the public.
- Secure funding and grants.

## Phase II: Invasive Species Removal & Initial Restoration (Years 3-15) **\*\*See note 2 below**

### 1. Targeted Invasive Species Removal

- Invasive species control will consist of an integrated approach and will vary by species and tend to be employed in a cumulative manner. The invasive species approaches include:
  - Containment - Stopping Further Spread
  - Suppression - Reducing Population & Impact
  - Eradication – Complete Removal
- Containment, Suppression and ultimately Eradication will be the goal for:
 

▪ Boxelder	<i>Acer negundo</i>
▪ Wild Rose	<i>Rosa multiflora</i>
▪ Poison Ivy	<i>Toxicodendron radicans</i>
▪ Buckthorn	<i>Rhamnus cathartica</i>
▪ Knotweed	<i>Fallopia japonica</i>
▪ Tree of Heaven	<i>Ailanthus altissima</i>
▪ Black Locust	<i>Robina pseudoacacia</i>
- The approach for Norway maples will diverge. While they are classified as invasive many of these trees are providing benefit to the site. Selective preservation of some Norway maples is appropriate to the site as they proved

canopy volume, wildlife habitat and limit more aggressive invasive species from expanding. Based on this a Containment/Suppression approach will be employed. This will include:

- Selective preservation of Norway maples will be determined by the consulting arborist.
- Removal of small trees, saplings and seedlings to limit the spread of the species.
- Planting native species to reclaim location.
- Mechanical removal will consist of:
  - Cutting and removing material that may continue the presence of invasive species
  - Cutting and leaving material on site (if appropriate) to provide organic material and provide wildlife habitat.
  - Grazing by goat herds will be explored and incorporated if feasible for invasive shrubs.
- Chemical control - herbicides where necessary and in moderation. To be used in a dab application method, to cut stumps/stems of particularly aggressive invasives, i.e. knotweed, buckthorn, etc.
- If effective biological controls are discovered they will be incorporated as well (e.g., predator insects for invasive plants). I am currently unaware of any effective means of controlling these species.

## **2. Reintroducing Native Species**

- Plant native trees, shrubs, and groundcover.
  - Various size planting should be introduced to ensure succession growth and a varied canopy cover.
- Protect young plants from competition and herbivory.

## **3. Soil & Water Restoration**

- Implement erosion control and sedimentation measures where needed.
- Ensure proper irrigation is available if needed.
  - Watering trucks may be required in particularly dry, hot seasons.
- Improve soil fertility through organic amendments.

## **4. Wildlife Habitat Support**

- Install nesting boxes and create wildlife corridors.
- Protect key species from habitat disruption.

# **Phase III: Ecosystem Stabilization & Management (Years 10 onward)**

## **8. Adaptive Management & Continuous Monitoring**

- Conduct regular biodiversity surveys.
- Adjust invasive species control strategies as needed.
  - Continue to survey for invasive species and replant natives

## 9. Forest Canopy Development

- Promote natural succession of native species.
- Continue supplemental planting if necessary.

## 10. Community Involvement & Sustainable Practices

- Develop guided hikes, and citizen science programs.
- Encourage local involvement in conservation.

## 11. Final Ecological Assessment

- Compare biodiversity and ecosystem health with initial conditions.
- Publish findings and share best practices.

### \*Note 1

An argument against the classification of **Norway maple** (*Acer platanoides*) as an invasive species could be based on the following points:

#### 1. Adaptability and Urban Benefits

- Norway maples thrive in urban environments where many native species struggle due to pollution, compacted soil, and road salt.
- They provide valuable shade, reducing urban heat islands and improving air quality.

#### 2. Lack of Severe Ecosystem Disruption

- Unlike some highly invasive species that completely displace native vegetation (e.g., kudzu or garlic mustard), Norway maples primarily compete with other trees rather than eliminating entire ecosystems.
- Some research suggests that native plants and trees can still coexist with Norway maples, particularly in well-managed forests.

#### 3. Erosion Control and Soil Stability

- These trees establish quickly and help prevent soil erosion in urban and disturbed environments.
- Their extensive root systems can stabilize slopes and reduce runoff in areas where native trees may struggle.

#### 4. Wildlife Benefits

- While they may not support as many insects as native maples, they still provide habitat and food for various birds, pollinators, and small mammals.
- Norway maple flowers provide an early nectar source for bees in spring.

#### 5. Long History in Landscaping

- Norway maples have been cultivated in North America since the 1700s, offering aesthetic beauty and serving as an alternative to native trees that may suffer from pests (e.g., sugar maples impacted by climate change and disease).

- Their ability to grow in a variety of soil types makes them a resilient choice for homeowners and city planners.

## 6. Inconsistent Invasive Status

- Not all regions classify Norway maple as invasive, and in some cases, their spread is limited by environmental factors.
- Some areas report that they do not significantly outcompete native trees in well-balanced ecosystems.

## Conclusion

While Norway maples do spread aggressively in some forests, they offer **urban benefits, erosion control, and adaptability** that make them a useful species in certain situations. Instead of outright removal, better **management strategies** (like selective thinning in forests) might be more appropriate than labeling them as purely invasive.

## \*\*Note 2

Implementation of invasive species removal and replanting with native species will be conducted on a rolling scheduled and within distinct areas of the site as to not create too much disruption in an area.

The site has been divided into 5 areas and removal and replanting is planned in a way that the majority of the removals for each area will begin on a new year. Ongoing maintenance and planting will continue on a rolling scheduled. This approach is outlined in the Forestry Management Plan dated September 11, 2023.



## Town of Arlington, Massachusetts

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### Notice of Intent – 15 Ryder Street.

#### Summary:

Notice of Intent – 15 Ryder Street.

The Arlington Conservation Commission will hold a public hearing to consider a Notice of Intent (NOI) under the Wetlands Protection Act and Arlington Bylaw for Wetlands Protection for construction of a brewery and beer garden at 15 Ryder Street. The jurisdictions that are part of the proposal are Riverfront Area, Buffer Zone, and Adjacent Upland Resource Area.

#### ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	15_Ryder_Street_- _Notice_of_Intent_Package.pdf	15 Ryder Street - Notice of Intent Package





March 4<sup>th</sup>, 2025

David Morgan / Environmental Planner & Conservation Agent  
Department of Planning & Community Development  
730 Mass Ave., Town Hall Annex  
Arlington, Massachusetts 02476  
dmorgan@town.arlington.ma.us

**RE: Notice of Intent Cover Letter  
Proposed Site Improvements  
Arlington Brewing Company  
15 Ryder Street, Arlington, MA**

Dear Mr. Morgan & Commission Members:

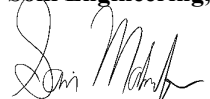
On behalf of the Applicant, ABC Beer Inc dba Arlington Brewing Company, Solli Engineering is pleased to submit a WPA Form 3 – Notice of Intent (NOI) for the site improvements and building addition for the proposed Arlington Brewing Company at 15 Ryder Street in Arlington, Massachusetts. The Site is entirely developed located adjacent to the Mill Brook (perennial stream). The project proposes a 960± square-foot addition onto the existing masonry building, and the construction of a 2,630± square-foot Beer Garden located to the east of the existing building. The project will result in a total land disturbance of approximately 6,005± square-feet, all of which is located within the previously developed 200' Riverfront Area of the Mill Brook. The project results in a 4,480± square-foot reduction of asphalt surfaces for the property, compared to existing conditions.

Please find enclosed the following forms, documents, and fees as part of the NOI Filing:

- Cover Letter (3 Copies)
- WPA Form 3 – Notice of Intent (3 Copies)
- Bylaw Filing Fee and Transmittal Form (3 Copies)
  - Bylaw Filing Fee Check - \$2,787.10
- State Filing Fee Calculation Worksheet (3 Copies)
  - Town Share Fee - \$387.50
  - State Share Fee - \$362.50
- NOI Permitting Plan Set (3 Copies – 24"x36")
- Certified Abutters List (3 Copies)
- Signed Affidavit of Service (3 Copies)
- NOI Project Narrative (3 Copies)


Please review the submitted material at your earliest convenience and let us know if you have any questions. We look forward to working with you during the permitting of this project.

Respectfully,  
**Solli Engineering, LLC**




Sam T. Malafronte, PE  
Asst. Project Manager

**Solli Engineering, LLC**



Casey J. Burch  
Sr. Project Manager

**Solli Engineering, LLC**



Kevin Solli, PE, PTOE  
Principal / Owner

Enclosures:

- Refer to bulleted list above

CC:

- Tom Allen (Founder) / Arlington Brewing Company

Monroe, CT | West Hartford, CT | Norwood, MA

[www.SolliEngineering.com](http://www.SolliEngineering.com)

13 of 51



Massachusetts Department of Environmental Protection

## **eDEP Transaction Copy**

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Here is the file you requested for your records.

To retain a copy of this file you must save and/or print.

Username: **SOLLIENGINEERING**

Transaction ID: **1876269**

Document: **WPA Form 3 - NOI**

Size of File: **275.39K**

Status of Transaction: **In Process**

Date and Time Created: **3/4/2025:1:34:59 PM**

**Note:** This file only includes forms that were part of your transaction as of the date and time indicated above. If you need a more current copy of your transaction, return to eDEP and select to "Download a Copy" from the Current Submittals page.



**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

**WPA Form 3 - Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
MassDEP File #:  
eDEP Transaction #:1876269  
City/Town:ARLINGTON

**A.General Information**

**1. Project Location:**

a. Street Address	15 RYDER STREET	c. Zip Code	02476
b. City/Town	ARLINGTON	e. Longitude	71.17424W
d. Latitude	42.42455N	g.Parcel/Lot #	11
f. Map/Plat #	57-2		

**2. Applicant:**

☒ Individual ☐ Organization

a. First Name	TOM	b. Last Name	ALLEN
c. Organization	ABD BEER INC DBA ARLINGTON BREWING COMPANY		
d. Mailing Address	15 RYDER STREET		
e. City/Town	ARLINGTON	f. State	MA
g. Zip Code	02476	j. Email	tom@drinkarlingtonbeer.com
h. Phone Number	617-299-9095	i. Fax	

**3. Property Owner:**

☐ more than one owner

a. First Name		b. Last Name	
c. Organization	ABCJ LAND LLC		
d. Mailing Address	438 MASS AVE		
e. City/Town	ARLINGTON	f. State	MA
g. Zip Code	02474	j. Email	
h. Phone Number		i. Fax	

**4. Representative:**

a. First Name	SAM	b. Last Name	MALAFRONTA, PE
c. Organization	SOLLI ENGINEERING, LLC		
d. Mailing Address	11 VANDERBILT AVENUE		
e. City/Town	NORWOOD	f. State	MA
g. Zip Code	02062	j. Email	sam@solllc.com
h. Phone Number	781-561-5522	i. Fax	

**5. Total WPA Fee Paid (Automatically inserted from NOI Wetland Fee Transmittal Form):**

a. Total Fee Paid	750.00	b. State Fee Paid	362.50	c. City/Town Fee Paid	387.50
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**6. General Project Description:**

THE APPLICANT, ARLINGTON BREWING COMPANY, IS PROPOSING A 960? SQUARE-FOOT ADDITION, A NEW 2,630? SQUAREFOOT BEER GARDEN, LANDSCAPING AND FENCING IMPROVEMENTS, AND SEVERAL PEDESTRIAN FRIENDLY FEATURES AT THE PROPERTY OF 15 RYDER STREET (MBLU: 57-2-11) IN ARLINGTON, MASSACHUSETTS. THE PROJECT WILL RESULT IN A TOTAL LAND DISTURBANCE OF APPROXIMATELY 6,005? SQUARE-FEET, ALL OF WHICH IS LOCATED WITHIN THE PREVIOUSLY DEVELOPED 200? RIVERFRONT AREA OF THE MILL BROOK.

**7a. Project Type:**

- |   |  |
|---|--|
| 1. <input type="checkbox"/> Single Family Home                | 2. <input type="checkbox"/> Residential Subdivision          |
| 3. <input type="checkbox"/> Limited Project Driveway Crossing | 4. <input checked="" type="checkbox"/> Commercial/Industrial |
| 5. <input type="checkbox"/> Dock/Pier                         | 6. <input type="checkbox"/> Utilities                        |

**Massachusetts Department of Environmental  
Protection**

Bureau of Resource Protection - Wetlands

# WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File #:

eDEP Transaction #:1876269

City/Town:ARLINGTON

## 7. Coastal Engineering Structure

## 9.□ Transportation

8. ☐ Agriculture (eg., cranberries, forestry)

10. ☐ Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☐ Yes ☒ No

If yes, describe which limited project applies to this project:

## 2. Limited Project

8. Property recorded at the Registry of Deeds for:

**a.County:**

**b.Certificate:**

**c.Book:**

**d. Page:**

SOUTHERN MIDDLESEX

78808

3

### B. Buffer Zone & Resource Area Impacts (temporary & permanent)

1. Buffer Zone & Resource Area Impacts (temporary & permanent):

☐ This is a Buffer Zone only project - Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.

2. Inland Resource Areas: (See 310 CMR 10.54 - 10.58, if not applicable, go to Section B.3. Coastal Resource Areas)

Resource Area

### Size of Proposed Alteration

Proposed Replacement (if any)

a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land under Waterbodies and Waterways	1. Square feet	2. square feet
	3. cubic yards dredged	
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced

f.  Riverfront Area

1. Name of Waterway (if any)

2. Width of Riverfront Area (check one)

☐ 25 ft. - Designated Densely Developed Areas only

100 ft. - New agricultural projects only

200 ft. - All other projects

### 3. Total area of Riverfront Area on the site of the proposed project

36292

square feet

#### 4. Proposed Alteration of the Riverfront Area:



**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

**WPA Form 3 - Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
MassDEP File #:  
eDEP Transaction #:1876269  
City/Town:ARLINGTON

6005                      3645                      2360  
a. total square feet      b. square feet within 100 ft.      c. square feet between 100 ft.  
and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? ☐ Yes ☒ No  
6. Was the lot where the activity is proposed created prior to August 1, 1996? ☒ Yes ☐ No

**3.Coastal Resource Areas: (See 310 CMR 10.25 - 10.35)**

Resource Area                      Size of Proposed Alteration      Proposed Replacement (if any)

a. <input type="checkbox"/> Designated Port Areas	Indicate size under	Land under the ocean below,
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes, below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab, crea.
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

**4.Restoration/Enhancement**

☐ Restoration/Replacement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please entered the additional amount here.

a. square feet of BVW                      b. square feet of Salt Marsh



**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

**WPA Form 3 - Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
MassDEP File #:  
eDEP Transaction #:1876269  
City/Town:ARLINGTON

5. Projects Involves Stream Crossings

☐ Project Involves Streams Crossings

If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

a. number of new stream crossings

b. number of replacement stream crossings

**C. Other Applicable Standards and Requirements**

**Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review**

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage of Endangered Species program (NHESP)?

a. ☐ Yes ☒ No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species  
Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581

b. Date of map: FROM MAP VIEWER

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18)...

c. Submit Supplemental Information for Endangered Species Review \* (Check boxes as they apply)

1. ☐ Percentage/acreage of property to be altered:

(a) within Wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

3. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetland jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

a. ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

b. ☐ Photographs representative of the site

c. ☐ MESA filing fee (fee information available at: <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/mass-endangered-species-act-mesa/mesa-fee-schedule.html>)

Make check payable to "Natural Heritage & Endangered Species Fund" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

d. ☐ Vegetation cover type map of site

e. ☐ Project plans showing Priority & Estimated Habitat boundaries

d. OR Check One of the following

1. ☐ Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <http://www.mass.gov/eea/agencies/dfg/dfw/laws-regulations/cmr/321-cmr-1000-massachusetts-endangered-species-act.html#10.14>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing.



**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

**WPA Form 3 - Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
MassDEP File #:  
eDEP Transaction #:1876269  
City/Town:ARLINGTON

a. NHESP Tracking Number

b. Date submitted to NHESP

3. ☐ Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review...

2. For coastal projects only, is any portion of the proposed project located below the mean high waterline or in a fish run?

a. ☒ Not applicable - project is in inland resource area only

b. ☐ Yes ☐ No

If yes, include proof of mailing or hand delivery of NOI to either:

South Shore - Cohasset to Rhode Island, and the Cape & Islands:

North Shore - Hull to New Hampshire:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 S. Rodney French Blvd  
New Bedford, MA 02744

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930

If yes, it may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office.

For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional office.

3. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. ☐ Yes ☒ No

If yes, provide name of ACEC (see instructions to WPA Form 3 or DEP Website for ACEC locations). **Note:** electronic filers click on Website.

b. ACEC Name

4. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. ☐ Yes ☒ No

5. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L.c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L.c. 130, § 105)?

a. ☐ Yes ☒ No

6. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. ☒ Yes, Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol.2, Chapter 3)

2. ☐ A portion of the site constitutes redevelopment

3. ☐ Proprietary BMPs are included in the Stormwater Management System

b. ☐ No, Explain why the project is exempt:



**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

**WPA Form 3 - Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
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1. ☐ Single Family Home
2. ☐ Emergency Road Repair
3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department by regular mail delivery.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the ☒ Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland ☒ [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.
3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s). ☒ Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
4. List the titles and dates for all plans and other materials submitted with this NOI. ☒

**a. Plan Title:**                      **b. Plan Prepared By:**    **c. Plan Signed/Stamped By:**    **c. Revised Final Date:**    **e. Scale:**

NOI PLAN SET

KEVIN SOLLI, PE

03/04/2025

1" = 20'

5. If there is more than one property owner, please attach a list of these property owners not listed on this form. ☐
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed. ☐
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed. ☐
8. Attach NOI Wetland Fee Transmittal Form. ☒
9. Attach Stormwater Report, if needed. ☒





**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

**WPA Form 3 - Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
MassDEP File #:  
eDEP Transaction #:1876269  
City/Town:ARLINGTON

**E. Fees**

1.

Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payer name on check: First Name

7. Payer name on check: Last Name

**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Tom Allen

3/4/2025

1. Signature of Applicant

2. Date

Julia Kew

3/4/2025

3. Signature of Property Owner(if different)

4. Date

Sam Malafronte, PE

3/4/2025

5. Signature of Representative (if any)

6. Date

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the "yes" box in Section C, Items 1-3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands  
**WPA Form 3 - Notice of Wetland Fee Transmittal**  
**Form**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
MassDEP File #:  
eDEP Transaction #:1876269  
City/Town: ARLINGTON

**A. Applicant Information**

**1. Applicant:**

a. First Name	TOM	b. Last Name	ALLEN
c. Organization	ABD BEER INC DBA ARLINGTON BREWING COMPANY		
d. Mailing Address	15 RYDER STREET		
e. City/Town	ARLINGTON	f. State	MA
g. Zip Code	02476	j. Email	tom@drinkarlingtonbeer.com
h. Phone Number	6172999095	i. Fax	

**2. Property Owner: (if different)**

a. First Name		b. Last Name	
c. Organization	ABCJ LAND LLC		
d. Mailing Address	438 MASS AVE		
e. City/Town	ARLINGTON	f. State	MA
g. Zip Code	02474	j. Email	
h. Phone Number		i. Fax	

**3. Project Location:**

a. Street Address	15 RYDER STREET	b. City/Town	ARLINGTON
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Are you exempted from Fee? ☐

**Note:** Fee will be exempted if you are one of the following:

- City/Town/County/District
- Municipal Housing Authority
- Indian Tribe Housing Authority
- MBTA

State agencies are only exempt if the fee is less than \$100

**B. Fees**

Activity Type	Activity Number	Activity Fee	RF Multiplier	Sub Total
B.) PARKING LOT;	1	500.00	RFA MULTIPLIER 1.5	750.00
		City/Town share of filing fee \$387.50	State share of filing fee \$362.50	Total Project Fee \$750.00

Transaction Overview Trans# 1876269 ID# WPA Form 3 - NOI



Payment

print

Exit

Payment Confirmation

Thank you. Your payment has been received and payment receipt has been emailed.

DEP TRANS # 1876269  
Payment Amount: \$362.5  
Payment Date: 3/4/2025 1:31:01 PM  
DEP Payment Confirmation ID: 8d423c18-7804-43ef-904c-407cadcaf93f

Note: Payment received after 3:30pm will not be posted until the next business day.

Next

## BYLAW FILING FEES AND TRANSMITTAL FORM

### Rules:

1. Fees are payable at the time of filing the application and are non-refundable.
2. Fees shall be calculated per schedule below.
3. Town, County, State, and Federal Projects are exempt from fees.
4. These fees are in addition to the fees paid under M.G.L. Ch. 131, s.40 (ACT).
5. A legal notice charge of \$150 is assessed on all applications for the cost of filing the public notice.

### Fee Schedule (ACC approved 1/8/15):

\$	No./Area	Category
		<b>(R1) RDA</b> - \$150 local fee, no state fee
		<b>(N1) Minor Project</b> - \$200 (house addition, tennis court, swimming pool, utility work, work in/on/or affecting any body of water, wetland or floodplain).
		<b>(N2) Single Family Dwelling</b> - \$600
		<b>(N3) Multiple Dwelling Structures</b> - \$600 + \$100 per unit all or part of which lies within 100 feet of wetlands or within land subject to flooding.
\$2,637.10	AURA Disturbed: 3,645 SF (\$1,822.50) Zone X Disturbed: 730 SF (\$14.60)	<b>(N4) Commercial, Industrial, and Institutional Projects</b> - \$800 + 50¢/s.f. wetland disturbed; 2¢/s.f. land subject to flooding or buffer zone disturbed.
		<b>(N5) Subdivisions</b> - \$600 + \$4/l.f. feet of roadway sideline within 100 ft. of wetlands or within land subject to flooding.
		<b>(N6) Other Fees</b> - copies, printouts; per public records law
		<b>(N7) Minor Project Change</b> - \$50
		<b>(N8) Work on Docks, Piers, Revetments, Dikes, etc</b> - \$4 per linear foot
		<b>(N9) Resource Boundary Delineation (ANRAD)</b> - \$1 per linear foot
		<b>(N10) Certificate of Compliance (COC or PCOC)</b> - No charge if before expiration of Order, \$200 if after that date.
		<b>(N11) Amendments</b> - \$300 or 50% of original local filing fee, whichever is less.
		<b>(N12) Extensions</b> -
		<b>a. Single family dwelling or minor project</b> - \$100.
		<b>b. Other</b> - \$150.
		<b>(N13) Consultant Fee</b> -per estimate from consultant
<i>Subtotal</i>		
\$2,637.10	<b>+ \$150</b>	Legal Notice Charge
\$2,787.10	<b>TOTAL</b>	

**Note:** The Notice of Intent Fee Transmittal Form is still required. [Details for calculating the NOI fee are included below.](#)

## STATE FILING FEE CALCULATION WORKSHEET

This worksheet will help you determine the cost of the filing fee charged under the Wetlands Protection Act. This is separate from and additional to the fees charged under the local bylaw. There are two steps to the worksheet.

1. Determine fees based on the number and type of proposed activities
2. Calculate payment and submit checks with your NOI application

### STEP 1: DETERMINE TYPES OF ACTIVITIES

A list of common activities in Arlington is found below. If your project involves other activities, please contact the Conservation Agent now at 781-316-3012 or [concomm@town.arlington.ma.us](mailto:concomm@town.arlington.ma.us).

#	Activity	Category	Cost	Fee
	Work on single family lot; addition, pool, etc.	Category 1	\$110 per	
	Site work without a house			
	Vegetation control			
	Resource area improvement			
	Construction of single-family house	Category 2	\$500 per	\$500.00
	Parking lot			
	Vegetation control with development			
	Any activity not in Category 1, 3, 4, 5, or 6			
	Each proposed building, including the site	Category 3	\$1,050 per	
	Hazardous material(s) cleanup			
	Bridge	Category 4	\$1,450 per	
	Hazardous waste action alterations to resource areas			
	Dredging			
	Oil and/or hazardous material release response actions			
	Work on docks, piers, revetments, dikes, etc.	Category 5	\$4 per linear foot*	
	Resource area delineation	Category 6	\$2 per linear foot per resource area**	
			<i>Subtotal</i>	
		<input checked="" type="checkbox"/> Activity in Riverfront Area		X 1.5
			<b>TOTAL</b>	\$750.00
	* Total fee not less than \$100 or more than \$2,000			
	** Total fee not more than \$200 for activities associated with a single-family house or \$2,000 for all other activities			

## STEP 2: CALCULATE PAYMENT

Enter the total fee from Step 1		\$750.00
Divide by two		\$375.00
Add \$12.50 to one half	\$387.50	Make out a check for this amount payable to the Town of Arlington
Subtract \$12.50 from one half	\$362.50	Make out a check for this amount payable to the Commonwealth of Massachusetts

Enter the above details on the Notice of Intent Fee Transmittal Form.

Provide three checks with your submission: the bylaw filing fee, the Town of Arlington NOI filing fee, and the Commonwealth of Massachusetts NOI filing fee.





USGS MAP

SCALE: 1" = 1,000'

# PROPOSED ARLINGTON BREWING COMPANY

15 RYDER STREET  
ARLINGTON, MASSACHUSETTS

## NOTICE OF INTENT (NOI) PERMITTING PLAN SET

PREPARED FOR:

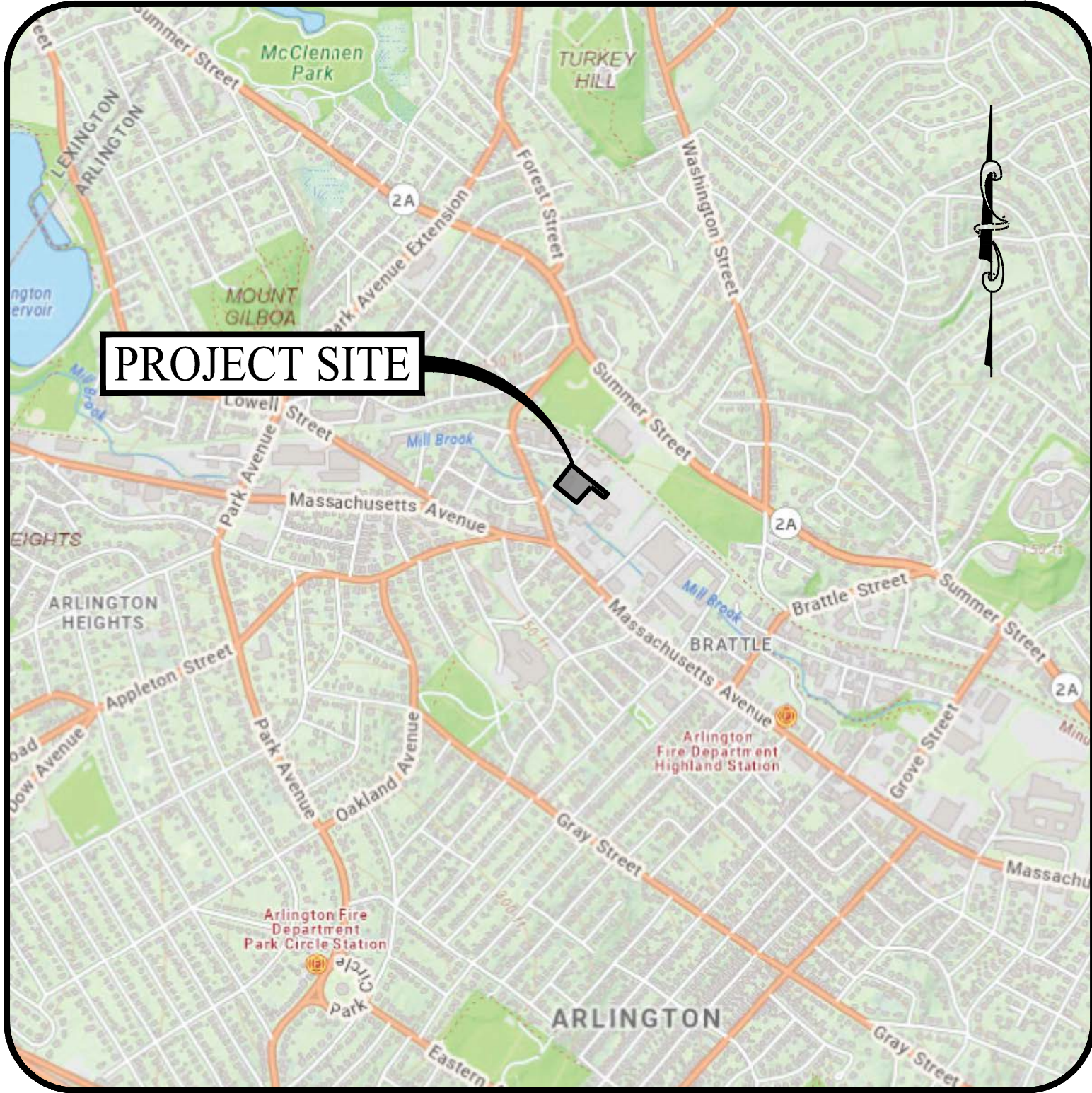
ARLINGTON BREWING COMPANY

15 RYDER STREET  
ARLINGTON, MASSACHUSETTS

PREPARED BY:



MONROE, CT | WEST HARTFORD, CT | NORWOOD, MA



LOCATION MAP

SCALE: 1" = 1,000'

### OWNER

ABCJ LAND LLC  
438 MASS AVE  
ARLINGTON, MASSACHUSETTS 02474

### APPLICANT

ABC BEER INC DBA ARLINGTON BREWING COMPANY  
TOM ALLEN, FOUNDER  
15 RYDER STREET  
ARLINGTON, MASSACHUSETTS 02476

### PROPERTY INFORMATION

ADDRESS: 15 RYDER STREET  
TOWN OF ARLINGTON  
MASSACHUSETTS 02476  
MBLU: 57-2-11  
OWNER: ABCJ LAND, LLC  
15 RYDER STREET  
ARLINGTON, MASSACHUSETTS 02476  
DEED: 78808-3  
TOTAL LOT AREA: 1.049+ ACRES

### SITE / CIVIL ENGINEER

KEVIN SOLLI, P.E., PTOE, CPESC, LEED AP BD+C  
LICENSE NO. 51952  
SOLLI ENGINEERING, LLC  
11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062  
(781) 352-8491

### SURVEYOR OF RECORD

GERRY L. HOLDRIGHT, MA PLS  
LICENSE NO. 49211  
CONTROL POINT ASSOCIATES INC.  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MASSACHUSETTS 01772  
(508) 948-3000

### DRAWING LIST

SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	03/04/25	N/A
1 OF 1	BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY	01/21/25	N/A
2.00	NOI SITE PLAN	03/04/25	N/A
2.01	PHASE I EROSION & SEDIMENT CONTROL PLAN	01/25/25	03/04/25
2.02	PHASE II EROSION & SEDIMENT CONTROL PLAN	01/25/25	03/04/25

Rev. #: Date Description

Project:  
**PROPOSED ARLINGTON BREWING COMPANY**  
15 RYDER STREET  
ARLINGTON, MASSACHUSETTS  
OWNER: ABCJ LAND LLC  
MAP 57 BLOCK 2 LOT 11

Sheet Title:

COVER SHEET

Sheet #:

0.00

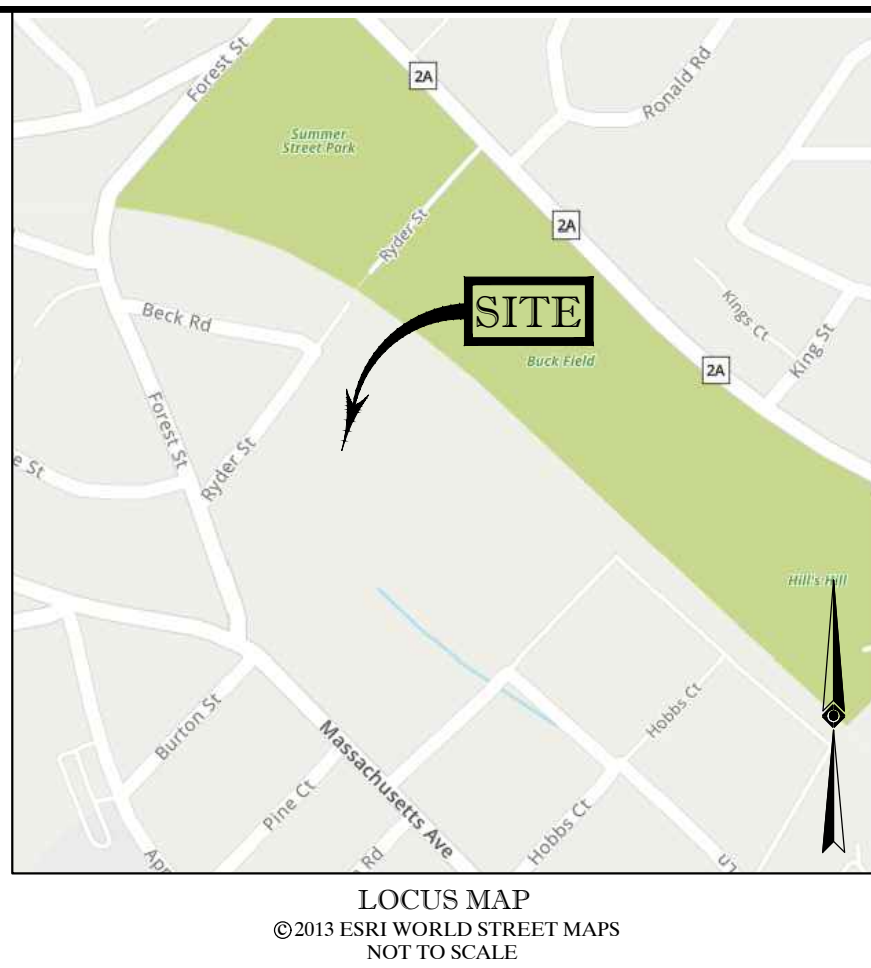
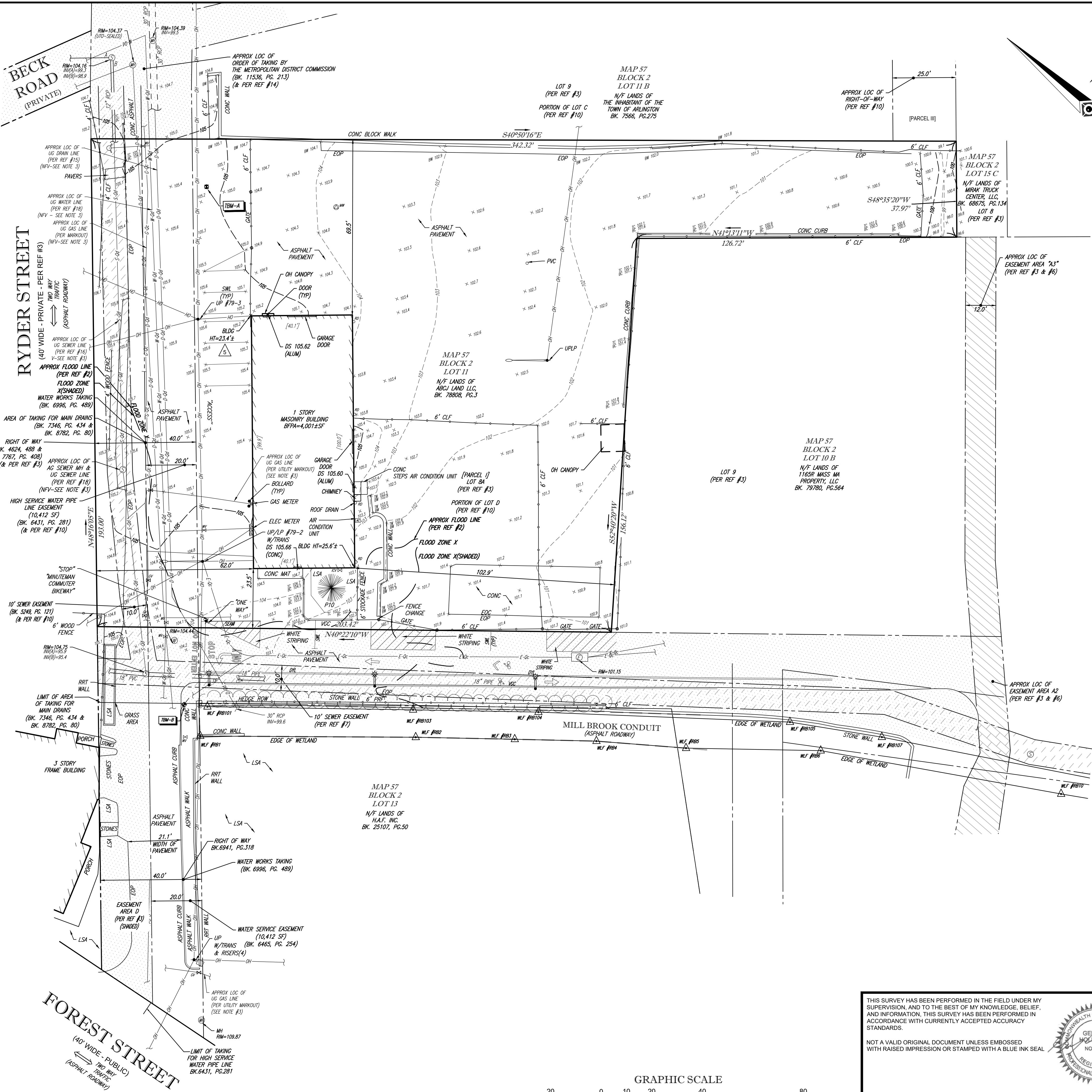


REFERENCES:

1. THE TAX ASSESSOR'S MAP OF ARLINGTON, MIDDLESEX COUNTY, MAP 57.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 17 OF 176," COMMUNITY-PANEL NUMBER 2502SC0017K, EFFECTIVE DATE JULY 3, 2024.
3. MAP ENTITLED "PLAN OF LOTS AND EASEMENTS IN ARLINGTON, MA," PREPARED BY: RIM ENGINEERING CO., INC., DATED: OCTOBER 23, 2006, AND RECORDED IN THE SOUTH MIDDLESEX REGISTRY OF DEEDS AS PLAN NO. 1072 OF 2007.
4. MAP ENTITLED "PLAN OF LAND IN ARLINGTON, MA," PREPARED BY: RIM ENGINEERING CO., INC., DATED: DECEMBER 28, 2018, AND RECORDED WITH THE SOUTH MIDDLESEX REGISTRY OF DEEDS AS PLAN NO. 110 OF 2019.
5. WATER MAPPING PROVIDED BY THE TOWN ENGINEERING DEPARTMENT.
6. MAP ENTITLED "PLAN OF LOTS AND EASEMENTS IN ARLINGTON, MA," PREPARED BY: RIM ENGINEERING CO., INC., DATED: JANUARY 21, 2003, AND RECORDED IN THE SOUTH MIDDLESEX REGISTRY OF DEEDS AS PLAN NO. 83 OF 2003 IN BOOK 37850 PAGE 612.
7. MAP ENTITLED "PLAN OF LAND IN ARLINGTON MASS." DATED SEPTEMBER 13, 1945, RECORDED IN THE SOUTH MIDDLESEX REGISTRY OF DEEDS AS PLAN NO. 172 OF 1946.
8. MAP ENTITLED "AS-BUILT GEOTHERMAL SITE PLAN 1167R MASSACHUSETTS AVE. ARLINGTON, MA PREPARED FOR ACHIEVE RENEWABLE" DATES JANUARY 4, 2016 PREPARED BY PAUL LINDHOLM, P.E.
9. MAP ENTITLED "ALTANSPPS LAND TITLE SURVEY, 15 RYDER STREET, TOWN OF ARLINGTON, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED: SEPTEMBER 28, 2021.
10. MAP ENTITLED "SUB-DIVISION OF LAND IN ARLINGTON MASS," PREPARED BY: FRANK K. NICKSAY, CIVIL ENGINEER, DATED: AUGUST 2, 1947, AND RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS IN BOOK 7178, PAGE 331 AS PLAN 1232 OF 1947.
11. MAP ENTITLED "PLAN OF LAND IN ARLINGTON MASS. TAKEN FOR STORM DRAIN PURPOSES", PREPARED BY: JAMES M. KEANE, TOWN ENGINEER, DATED: OCTOBER 16, 1937, AND RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 992 OF 1937.
12. MAP ENTITLED "PLAN OF LAND IN ARLINGTON MASS. TAKEN FOR STORM DRAIN PURPOSES", PREPARED BY: JAMES M. KEANE, TOWN ENGINEER, DATED: DECEMBER 15, 1939, AND RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 1086 OF 1939.
13. MAP ENTITLED "PLAN OF LAND IN ARLINGTON MASS. TAKEN FOR SEWER PURPOSES", PREPARED BY: JAMES M. KEANE, TOWN ENGINEER, DATED: DECEMBER 14, 1939, AND RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 1086 OF 1939.
14. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS METROPOLITAN DISTRICT COMMISSION SEWERAGE DIVISION PLAN OF LAND IN ARLINGTON", DATED: FEBRUARY 1968, AND RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 729 OF 1968.
15. MAP ENTITLED "PLAN AND PROFILE OF STORM DRAIN IN RYDER STREET," PREPARED BY JAMES M. KEANE TOWN ENGINEER, DATED: AUGUST 8, 1949, FILED IN THE TOWN OF ARLINGTON ENGINEERS OFFICE AS PLAN 4822.
16. MAP ENTITLED "SEWER ASSESSMENT PLAN NO. 477," PREPARED BY J. M. KEANE TOWN ENGINEER, DATED: FEBRUARY 8, 1928, FILED IN THE TOWN OF ARLINGTON ENGINEERS OFFICE AS PLAN 2676.
17. UNDERGROUND GAS MAPPING PROVIDED BY NATIONAL GRID GAS, MAP ARLL1250.
18. UNDERGROUND WATER MAPPING PROVIDED BY MWRA.

LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING SPOT ELEVATION
- X 102.45 EXISTING TOP OF CURB ELEVATION
- X BC 122.95 EXIST. BOTTOM OF CURB ELEVATION
- HYDRANT
- WATER VALVE
- GAS VALVE
- GAS METER
- ELECTRIC METER
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND DRAINAGE LINE
- APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- SUBSURFACE UTILITY QUALITY LEVEL B
- UTILITY POLE
- UTILITY POLE/LIGHT POLE
- MONITORING WELL
- BOLLARD
- METAL GUIDE RAIL
- TYPICAL
- DMH DRAINAGE/STORM MANHOLE
- SMH SANITARY/SEWER MANHOLE
- MH UNKNOWN MANHOLE
- DELINEATION FLAG
- CONIFEROUS TREE & TRUNK SIZE
- SHRUBS
- PARKING SPACE COUNT
- DEPRESSED CURB
- [PARCEL I] TITLE REPORT PARCEL
- (TRACT I) DEED DESIGNATION
- [10.5] BUILDING DIMENSION
- SWL SOLID WHITE LINE
- HT HEIGHT
- BLDG BUILDING
- BFFPA BUILDING FOOTPRINT AREA
- EDC EDGE OF CONC.
- EDP EDGE OF PAVEMENT
- LSA LANDSCAPED AREA
- CLF CHAIN LINK FENCE
- MW MONITORING WELL



NOTES:

1. PROPERTY KNOWN AS LOT 11 AS SHOWN ON THE TOWN OF ARLINGTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 57.
  2. AREA = 45,687 SQUARE FEET OR 1.049 ACRES.
  3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
- QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
  6. EXISTING FIRM: BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
  7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
  8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS). TEMPORARY BENCH MARKS SET:
    - TBM-A: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 105.23'
    - TBM-B: MAG NAIL SET IN ASPHALT WALK, ELEVATION= 105.52'
  9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  10. ANY DISCREPANCIES FOUND ON THE SURVEY SHOULD BE REPORTED TO THE SURVEYOR IMMEDIATELY.
  11. THIS SURVEY WAS PREPARED FOR THE CLIENT, ABC BEER INC., AND INTENDED ONLY FOR THE USE BY THE CLIENT AS CONTRACTED FOR THE PROJECT AND THE PURPOSE ORIGINALLY INTENDED. NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED HEREON SHALL RELY ON IT FOR ANY PURPOSE.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



GERRY L. HOLDRIGHT, PLS  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE  
12-26-2024  
FIELD BOOK NO.  
24-14- MA  
FIELD BOOK PG.  
13

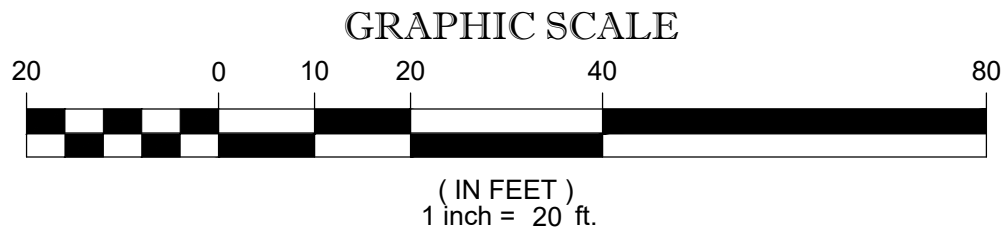
FIELD CREW  
J.D.O.  
DRAWN:  
A.B.  
REVIEWED:  
R.J.K.

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY  
ABC BEER INC.

15 RYDER STREET  
LOT 11, BLOCK 2, MAP 57  
TOWN OF ARLINGTON, MIDDLESEX COUNTY  
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.  
ALBANY, NY 518-217-5010  
CHAFFONT, PA 215-712-9800  
HAUPPAUGE, NY 631-880-2645  
MANHATTAN, NY 646-780-0411  
MT LAUREL, NJ 609-857-3999  
WARREN, NJ 908-668-0999

FILE NO.  
03-210320-01  
DWS. NO.  
1 OF 1





LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	LIMIT OF EASEMENT
	SAWCUT PAVEMENT LINE
	DELINEATED LIMIT OF MILL BROOK
	25 FT WETLAND BUFFER LINE
	50 FT WETLAND BUFFER LINE
	100 FT WETLAND BUFFER LINE
	200 FT RIVERFRONT AREA
	FEMA FLOOD LINE (ZONE X)
	LIMIT OF DISTURBANCE

ZONING COMPLIANCE TABLE			
ZONE: INDUSTRIAL DISTRICT			
ZONING REQUIREMENT (INDUSTRIAL)	REQUIREMENT	EXISTING CONDITIONS	PROPOSED CONDITIONS
MINIMUM PARCEL AREA	N/A	45,687± SF	45,687± SF
MINIMUM FRONTAGE	N/A	193 FT	193 FT
MINIMUM FRONT YARD BUILDING SETBACK	10 FT	61.6 FT	61.6 FT
MINIMUM SIDE YARD BUILDING SETBACK	10 FT	23.0 FT / 68.9 FT	23.0 FT / 68.9 FT
MINIMUM REAR YARD BUILDING SETBACK	10 FT	102.5 FT	77.4 FT
MAXIMUM BUILDING HEIGHT	39 FT	25.6 FT	25.6 FT

PARKING SUMMARY

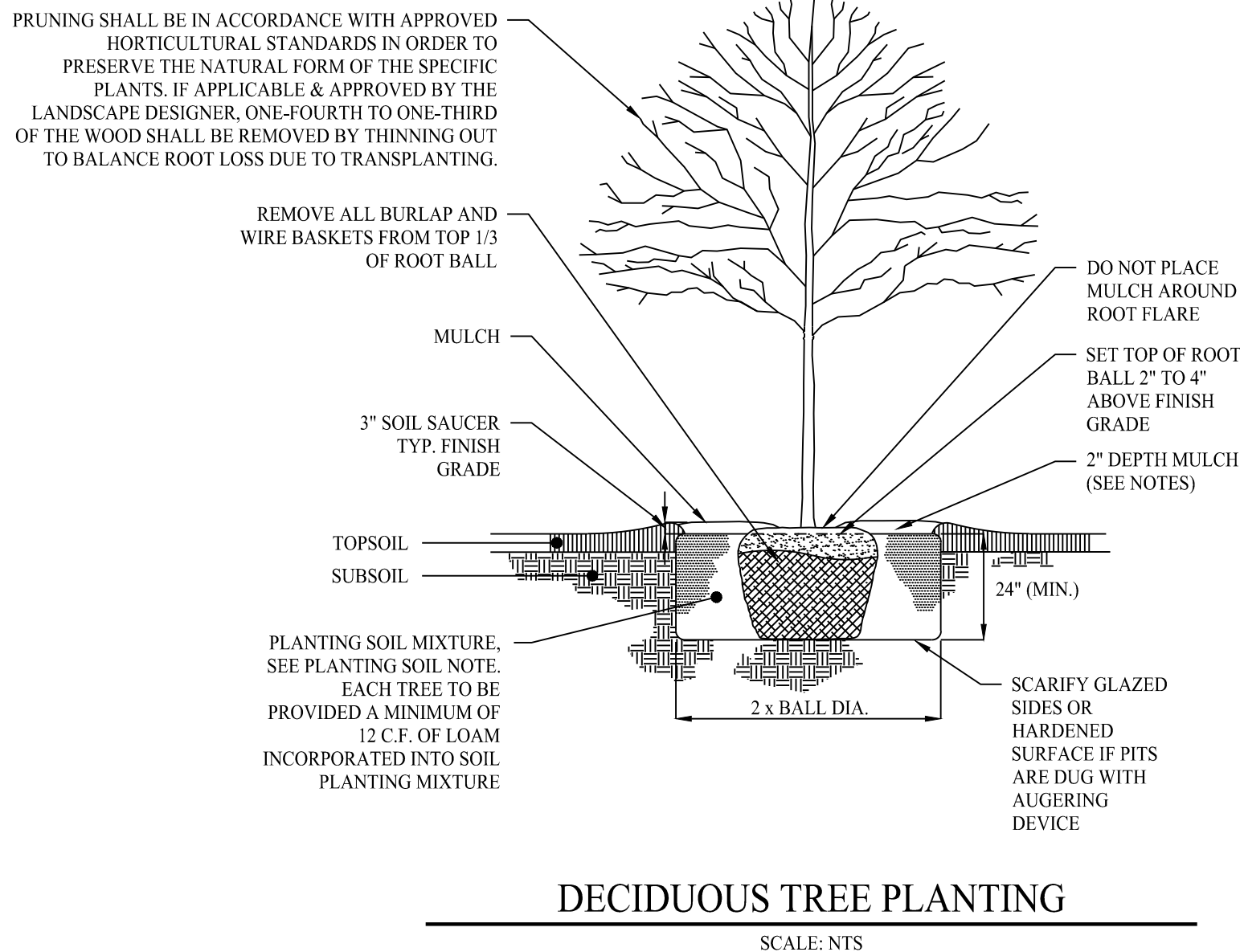
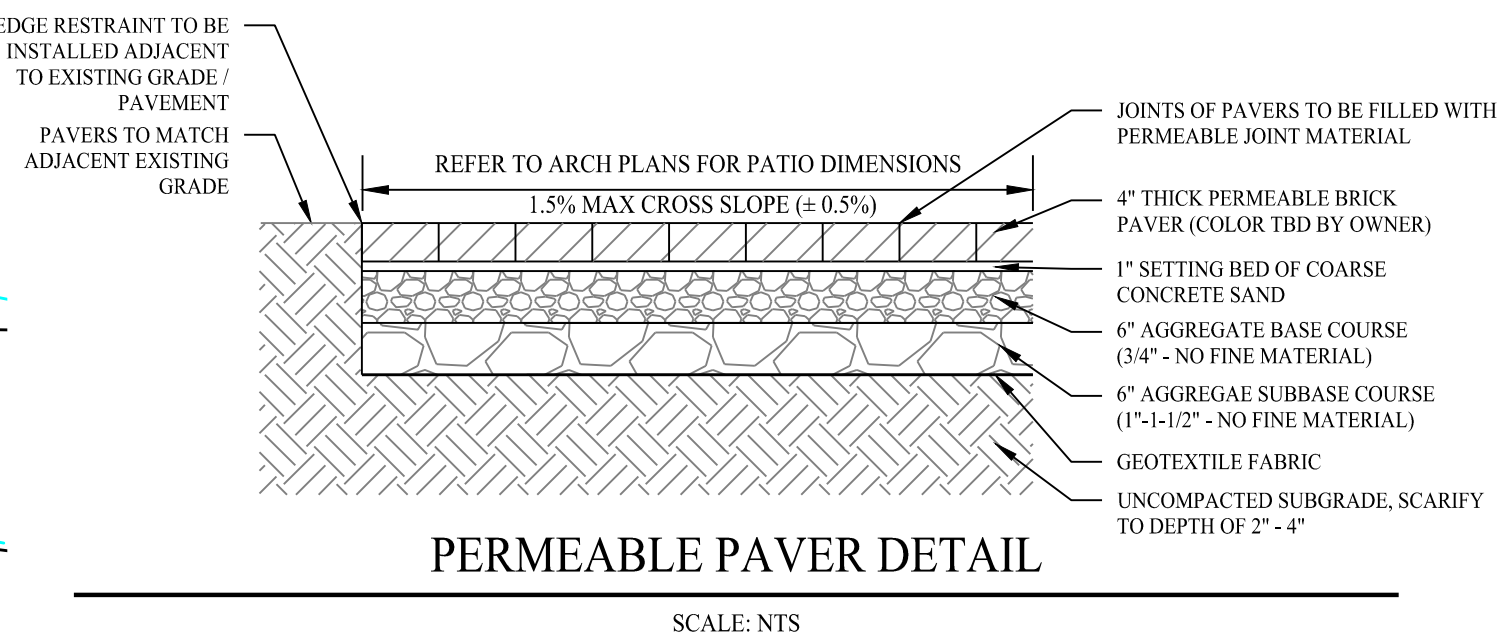
PROPOSED DEVELOPMENT	GFA	REQUIREMENT	REQUIRED	PROVIDED
PROPOSED ARLINGTON BREWING COMPANY	4,960± SF	-	17	20
		TOTAL	17	20

SITE SURFACE AREA SUMMARY

	EXISTING CONDITIONS	PROPOSED CONDITIONS
BUILDING AREA	4,000± SF	4,960± SF (+960± SF)
PAVEMENT	41,264± SF	36,784± (- 4,480± SF)
LANDSCAPED AREA	414± SF	3,081± SF (+ 2,667± SF)
PERVIOUS PAVERS	0 SF	853± SF (+ 853± SF)
TOTAL	45,678± SF	45,678± SF

GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF ARLINGTON, MASSACHUSETTS FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY; ABC BEER INC.", DATED JANUARY 21, 2025, SCALE: 1"=20', PREPARED BY CONTROL POINT ASSOCIATES, INC.
- 3.1. FIELD SURVEY PERFORMED IN DECEMBER 2024.
- 3.2. THE VERTICAL DATUM IS NAVD83.
- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.049± ACRES (45,687± SF) LOCATED WITHIN THE TOWN OF ARLINGTON INDUSTRIAL (I) ZONING DISTRICT.
- 4.1. MAP 57 BLOCK 2 LOT 11 AS SHOWN ON THE TOWN OF ARLINGTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS ASSESSORS MAPS.
- 4.2. DEED REFERENCE: BK 78808 / PG 3
- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE THE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
- CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS / PROPOSED PLOT PLAN FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, SIDEWALKS, PATIO AREAS AND ALL OTHER IMPROVEMENTS.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER OF RECORD. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
- THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
- ACCORDING TO FLOOD MAP NUMBER 25025C0017K, PANEL 17 OF 176, DATED 07/03/2024, PRODUCED BY FEMA, A PORTION OF THE SITE LIES WITHIN A ZONE "X" SHADED, AREAS OF 0.2% ANNUAL CHANCE OF FLOOD (500-YR FLOOD PLAIN).



Rev. #:	Date	Description
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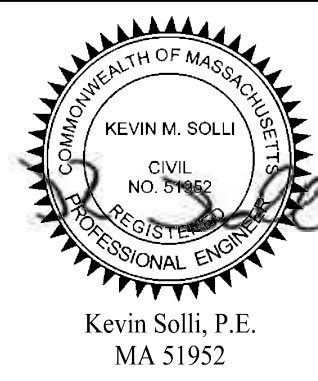
**SOLLI ENGINEERING**

MONROE, CT | W. HARTFORD, CT | NORWOOD, MA

SOLLIENGINEERING.COM

T: (203) 880-5455 | F: (203) 880-9695

Drawn By:	PDS
Checked By:	STM
Approved By:	KMS
Project #:	25200801
Plan Date:	03/04/25
Scale:	1" = 20'



**PROPOSED ARLINGTON BREWING COMPANY**

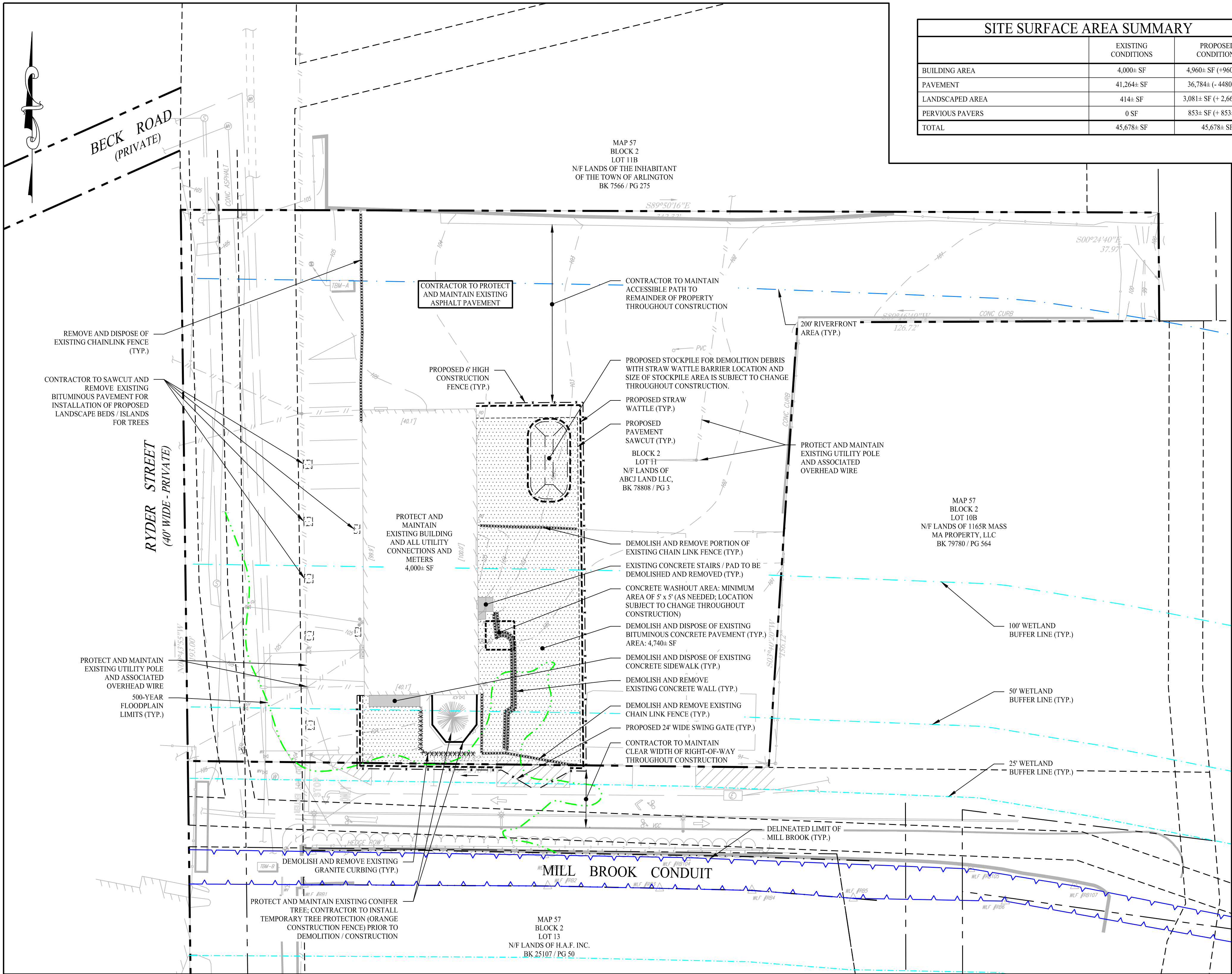
15 RYDER STREET  
ARLINGTON, MASSACHUSETTS  
OWNER: ABC LAND LLC  
MAP 57 BLOCK 2 LOT 11

Sheet Title:	Sheet #:
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NOI SITE PLAN

2.00





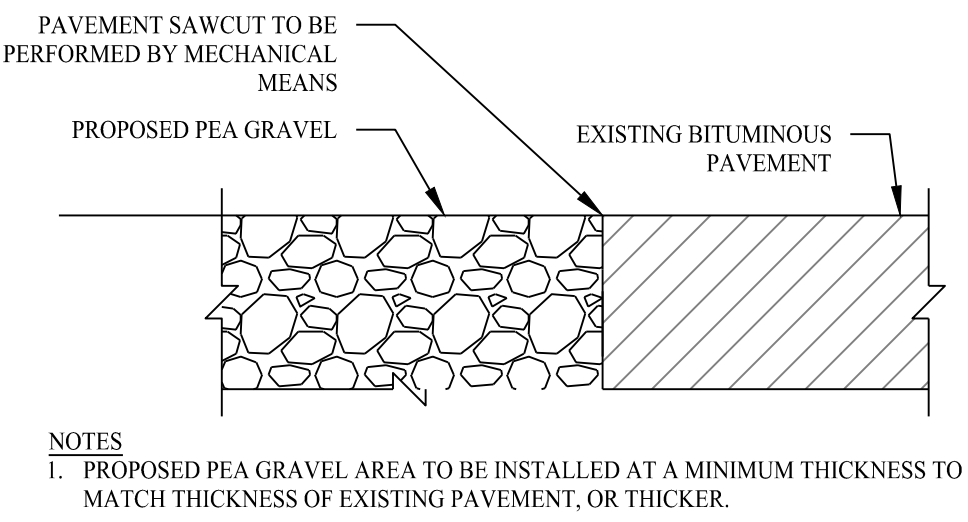
SITE SURFACE AREA SUMMARY		
	EXISTING CONDITIONS	PROPOSED CONDITIONS
BUILDING AREA	4,000± SF	4,960± SF (+960± SF)
PAVEMENT	41,264± SF	36,784± (-4480± SF)
LANDSCAPED AREA	414± SF	3,081± SF (+ 2,667± SF)
PERVIOUS PAVERS	0 SF	853± SF (+ 853± SF)
TOTAL	45,678± SF	45,678± SF

## CONSTRUCTION SEQUENCE (PHASE 1)

1. **PHASE I**
  - 1.1. ENSURE ALL BONDING / FEES / ZONING PERMITS ARE PAID AND APPROVED BY TOWN OF A PRIOR TO CONSTRUCTION.
  - 1.2. INSTALL CONSTRUCTION FENCE AND ESTABLISH CONTRACTOR PARKING AREA AND STAGING / STORAGE AREAS.
  - 1.3. INSTALL STRAW WATTLE BARRIER ON INSIDE OF CONSTRUCTION FENCE.
  - 1.4. PREPARE TEMPORARY PARKING, STAGING AND STORAGE AREAS.
  - 1.5. INSTALL SILT SACK INLET PROTECTION ON ALL EXISTING DRAINAGE STRUCTURES WITHIN THE PROJECT SITE AND WITHIN PROXIMITY OF THE SITE.
  - 1.6. HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD / TOWN OF ARLINGTON LAND USE AGENT TO PERFORM INSPECTION AND CERTIFICATION OF BEST MANAGEMENT PRACTICES (BMPs). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE ENGINEER OF RECORD / TOWN AGENCIES, AND GROUND-DISTURBING CONTRACTOR BEFORE PROCEED WITH CONSTRUCTION.
  - 1.7. PERFORM PAVEMENT SAWCUTS.
  - 1.8. DEMOLISH AND REMOVE EXISTING STRUCTURES / FOUNDATIONS.
  - 1.9. REMOVE ALL EXISTING CURBING, BITUMINOUS CONCRETE PAVEMENT, CONCRETE PADS, AND FENCING.
  - 1.10. ESTABLISH MATERIAL STOCKPILE AREA AND INSTALL SEC BARRIER SURROUNDING PILE.
  - 1.11. BEGIN ROUGH GRADING OF THE SITE.

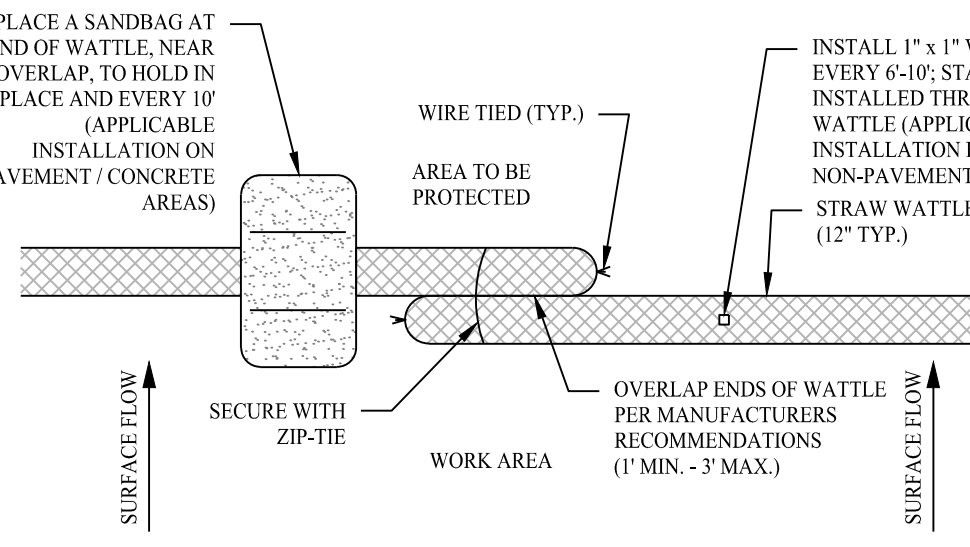
## LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	LIMIT OF EASEMENT
	PAVEMENT SAWCUT
	STRAW WATTLE BARRIER
	CONCRETE WASHOUT AREA
	CONSTRUCTION FENCE
	CONCRETE SIDEWALK DEMOLITION
	BITUMINOUS CONCRETE PAVEMENT DEMOLITION
	CURB REMOVAL
	CONCRETE WALL / CHAIN LINK FENCE REMOVAL
	TREE PROTECTION / ORANGE CONSTRUCTION FENCE



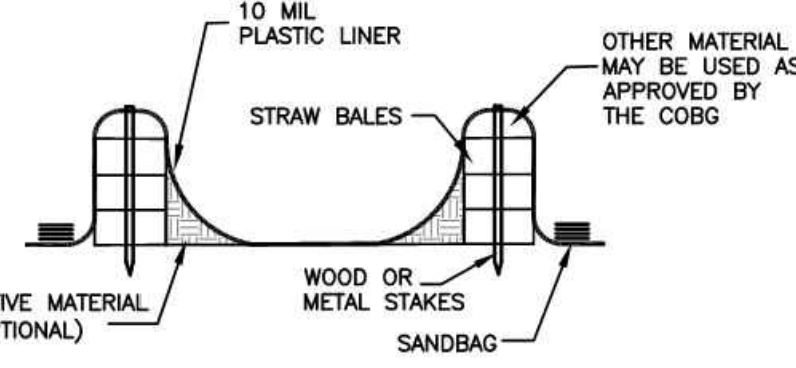
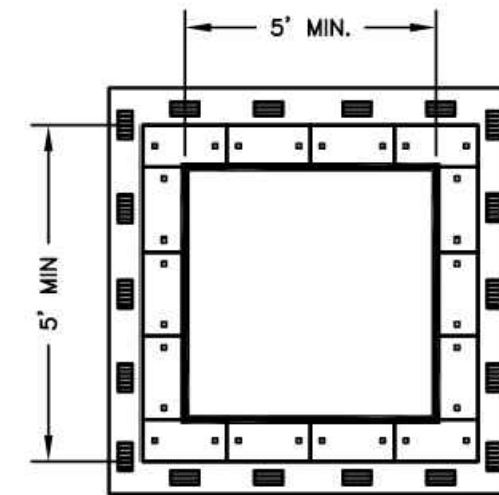
## PAVEMENT SAWCUT DETAIL

SCALE: NTS



## STAKED STRAW WATTLE

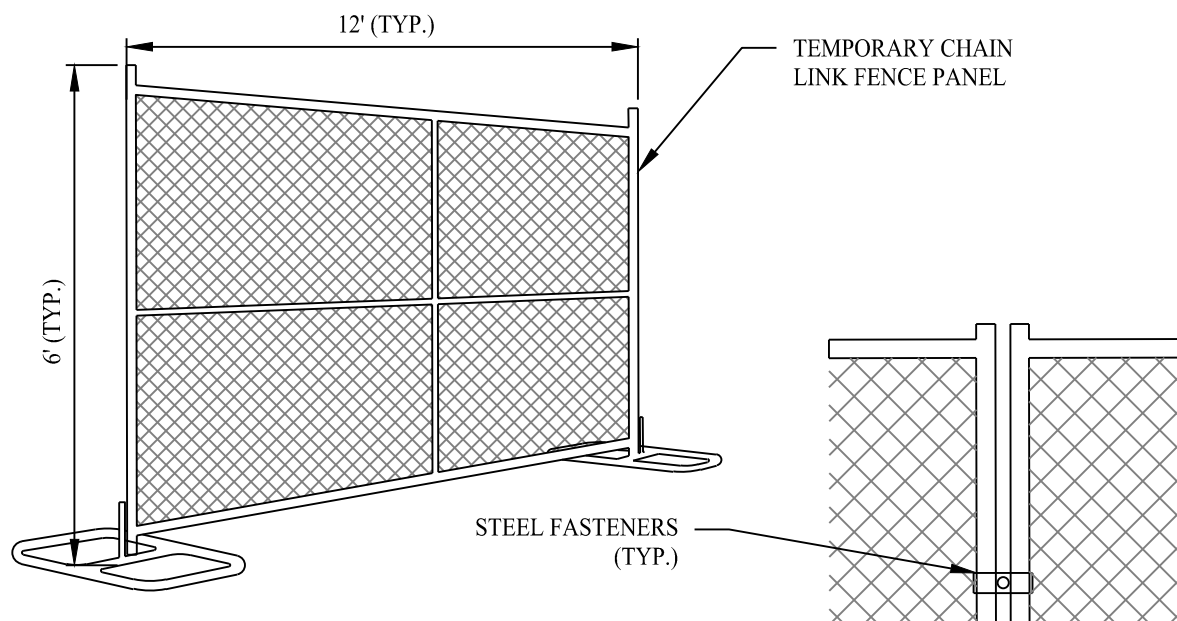
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- NOTES:
1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPING FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS OR STREAMS IS PERMITTED.
  2. EXCESS CONCRETE IS NOT PERMITTED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY WASHOUT AREAS (REFER TO SHEET 2.32).
  3. ONCE WASHOUT AREA IS 75% FULL, CONTRACTOR TO CLEAN OUT OR REPLACE AREA.
  4. PLASTIC LINING SHALL BE MINIMUM 10 MIL. POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
  5. HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFF-SITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.

## CONCRETE WASHOUT DETAIL

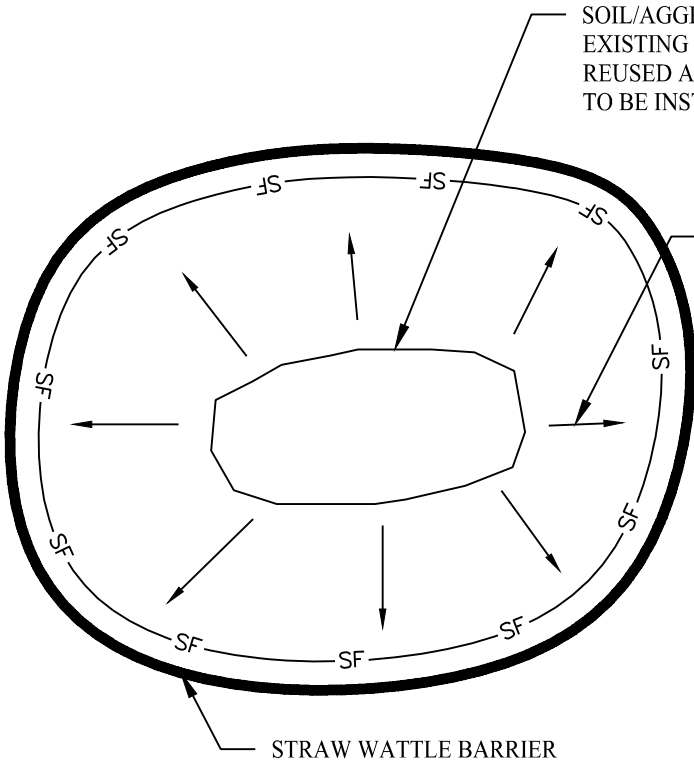
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- NOTES:
1. FENCING PANELS COMPLY WITH ASTM - A392-06 STANDARDS.
  2. GALVANIZED STEEL, CORROSION-RESISTANT ZINC COATING.
  3. 36" BASE STANDS FOR STABILITY, NO DIGGING OR POST SETTING REQUIRED. SAND BAGS TO BE USED FOR ADDED STABILITY.
  4. TYPICAL FENCE WIDTH: 12". TYPICAL FENCE HEIGHT: 6'.
  5. SCREENING MADE OF RESILIENT HDPE POLYETHYLENE, WITH 88% BLOCKAGE.
  6. REINFORCED SCREENING WITH HEMMED EDGES AND STEEL GROMMETS.
  7. SCREEN HEIGHT: 5'-8" FOR 6' FENCE.
  8. SCREEN COLORS: GREEN, TAN, BLUE, OR RED.

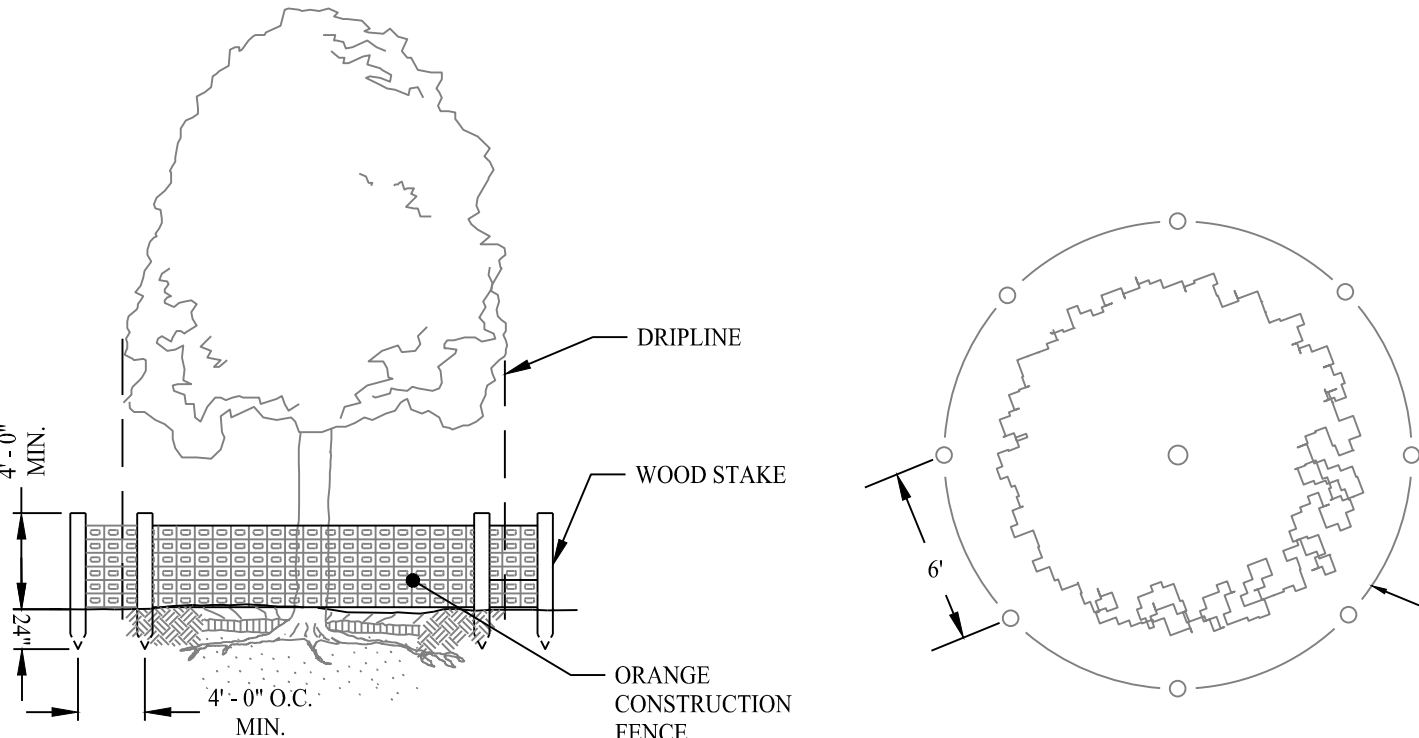
## TEMPORARY CONSTRUCTION FENCE DETAIL

SCALE: NTS



## MATERIALS STOCKPILE DETAIL BARRIER

SCALE: NTS



## TYPICAL TREE PROTECTION DETAIL

SCALE: NTS

- NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
  2. SOIL/AGGREGATE STOCKPILE SITES TO BE SHOWN ON THE DRAWINGS OR WHERE APPROVED BY CIVIL ENGINEER.
  3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
  4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

## GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF ARLINGTON, MASSACHUSETTS FOR THIS PROJECT.
3. EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY; ABC BEER INC.", DATED JANUARY 21, 2025, SCALE: 1"=20'. PREPARED BY CONTROL POINT ASSOCIATES, INC.
- 3.1. FIELD SURVEY PERFORMED IN DECEMBER 2024.
- 3.2. THE VERTICAL DATUM IS NAVD83.
4. THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.04± ACRES (45,687± SF) LOCATED WITHIN THE TOWN OF ARLINGTON INDUSTRIAL (I) ZONING DISTRICT.
- 4.1. MAP 57 BLOCK 2 LOT 11 AS SHOWN ON THE TOWN OF ARLINGTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS ASSESSORS MAPS.
- 4.2. DEED REFERENCE: BK 78808 / PG 3
5. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE THE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITIES AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
6. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
9. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS / PROPOSED PLOT PLAN FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, SIDEWALKS, PATIO AREAS AND ALL OTHER IMPROVEMENTS.
10. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER OF RECORD. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
11. THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
12. ACCORDING TO FLOOD MAP NUMBER 2502SC0017K, PANEL 17 OF 176, DATED 07/03/2024, PRODUCED BY FEMA, A PORTION OF THE SITE LIES WITHIN A ZONE "X" SHADED, AREAS OF 0.2% ANNUAL CHANCE OF FLOOD (500-YR FLOOD PLAIN).



Drawn By:	STM
Checked By:	CJB
Approved By:	KMS
Project #:	25200801
Plan Date:	01/25/25
Scale:	1" = 20'

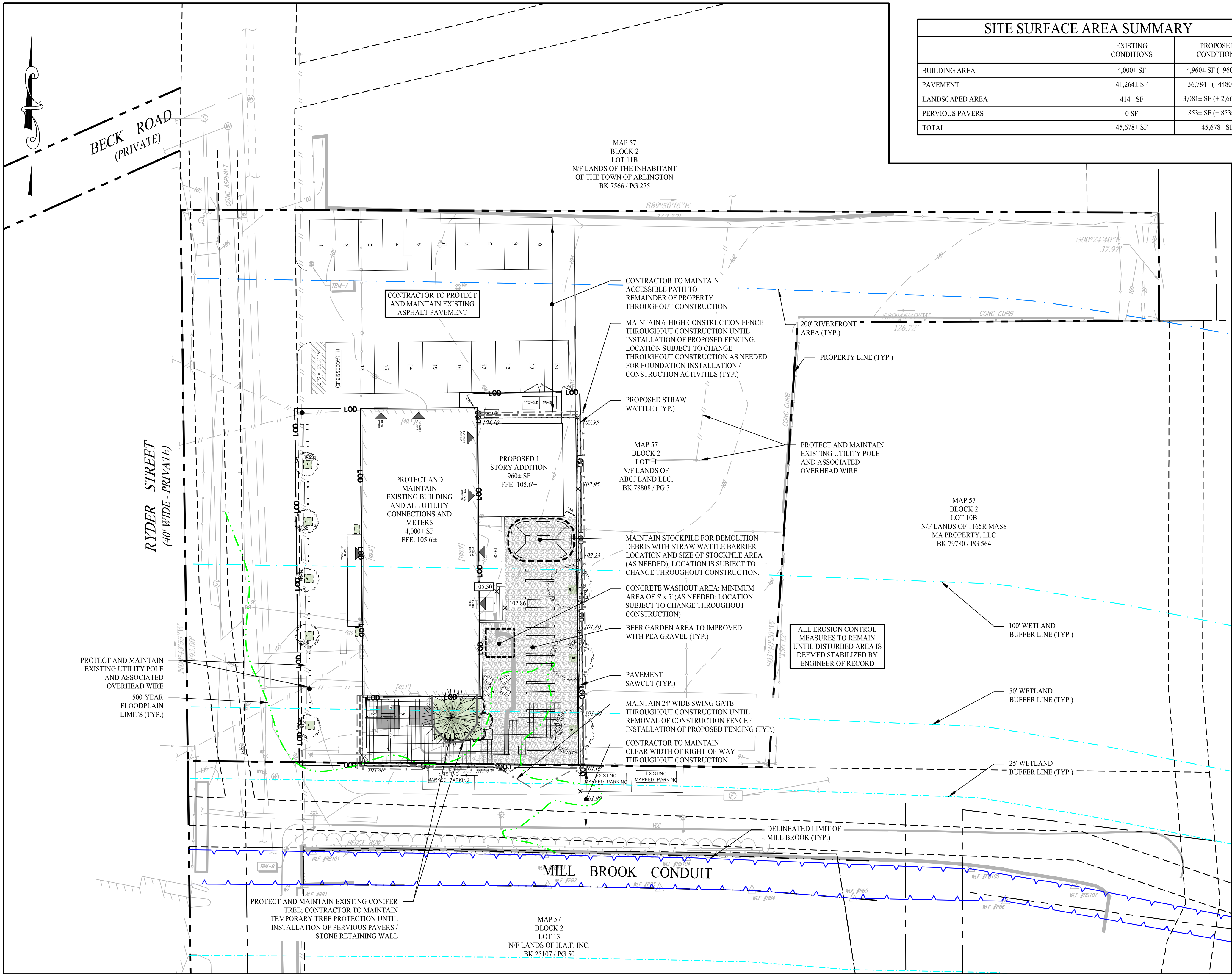


## PROPOSED ARLINGTON BREWING COMPANY

15 RYDER STREET  
ARLINGTON, MASSACHUSETTS  
OWNER: ABCJ LAND LLC  
MAP 57 BLOCK 2 LOT 11

Sheet Title:	PHASE I EROSION & SEDIMENT CONTROL PLAN	Sheet #:	2.01
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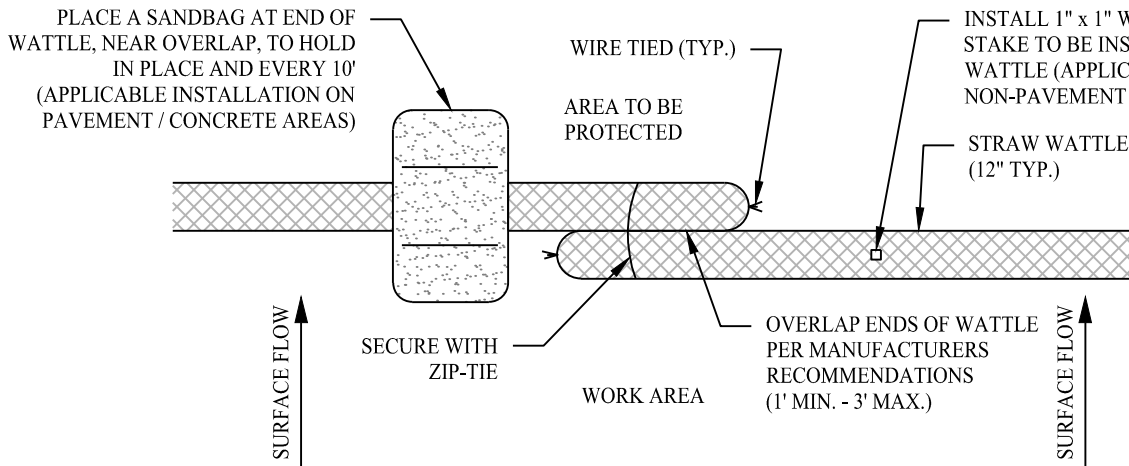
SITE SURFACE AREA SUMMARY		
	EXISTING CONDITIONS	PROPOSED CONDITIONS
BUILDING AREA	4,000± SF	4,960± SF (+960± SF)
PAVEMENT	41,264± SF	36,784± (- 4480± SF)
LANDSCAPED AREA	414± SF	3,081± SF (+ 2,667± SF)
PERVIOUS PAVERS	0 SF	853± SF (+ 853± SF)
TOTAL	45,678± SF	45,678± SF

## CONSTRUCTION SEQUENCE (PHASE II)

1. **PHASE II:**
  - 1.1. INSTALL PROPOSED IMPROVEMENTS (SEE PROPOSED PLOT PLAN OF LAND FOR PROPOSED IMPROVEMENTS PREPARED BY CONTROL POINT ASSOCIATES, INC.).
  - 1.2. INSTALL UTILITIES AS SHOWN ON PROPOSED PLOT PLAN OF LAND FOR PROPOSED IMPROVEMENTS PREPARED BY CONTROL POINT ASSOCIATED, INC.
  - 1.3. START CONSTRUCTION OF BUILDING ADDITION, BEER GARDEN AREA, AND PAVER AREA.
  - 1.4. INSTALL CURBS (AS NEEDED).
  - 1.5. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  - 1.6. PREPARE SITE FOR FINAL GRADING.
  - 1.7. CONSTRUCT CONCRETE PADS AND SIDEWALKS.
  - 1.8. PAVE AREAS SHOWN ON PROPOSED PLOT PLAN OF LAND FOR PROPOSED IMPROVEMENTS PREPARED BY CONTROL POINT ASSOCIATED, INC.
  - 1.9. CONTRACTOR / CONSTRUCTION MANAGER TO COORDINATE WITH ENGINEER OF RECORD TO OBTAIN STABILIZED SITE STATUS.
  - 1.10. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED.

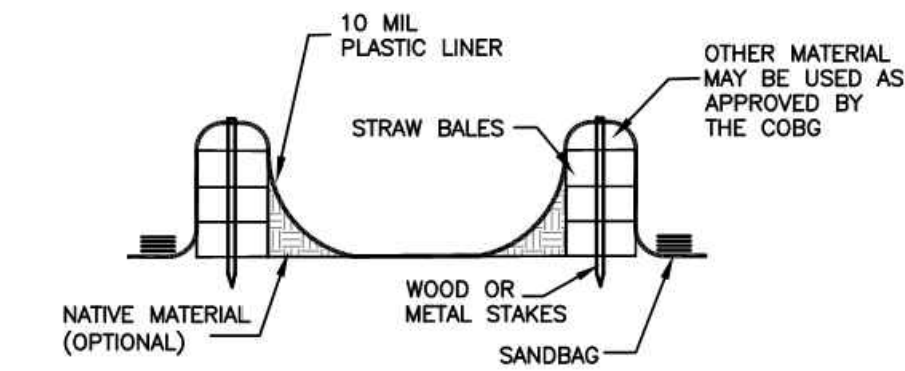
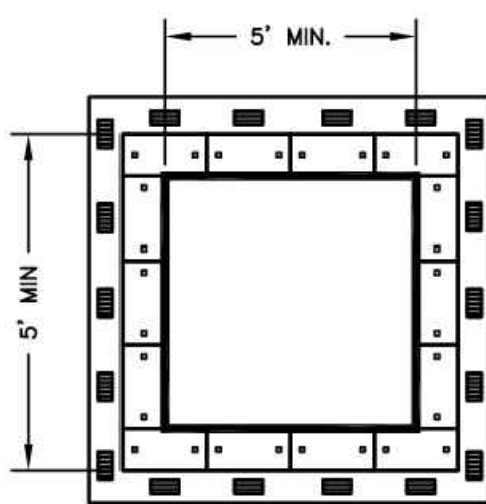
## LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	LIMIT OF EASEMENT
	PAVEMENT SAWCUT
	STRAW WATTLE BARRIER
	CONCRETE WASHOUT AREA
	CONSTRUCTION FENCE
	TREE PROTECTION / ORANGE CONSTRUCTION FENCE



## STAKED STRAW WATTLE

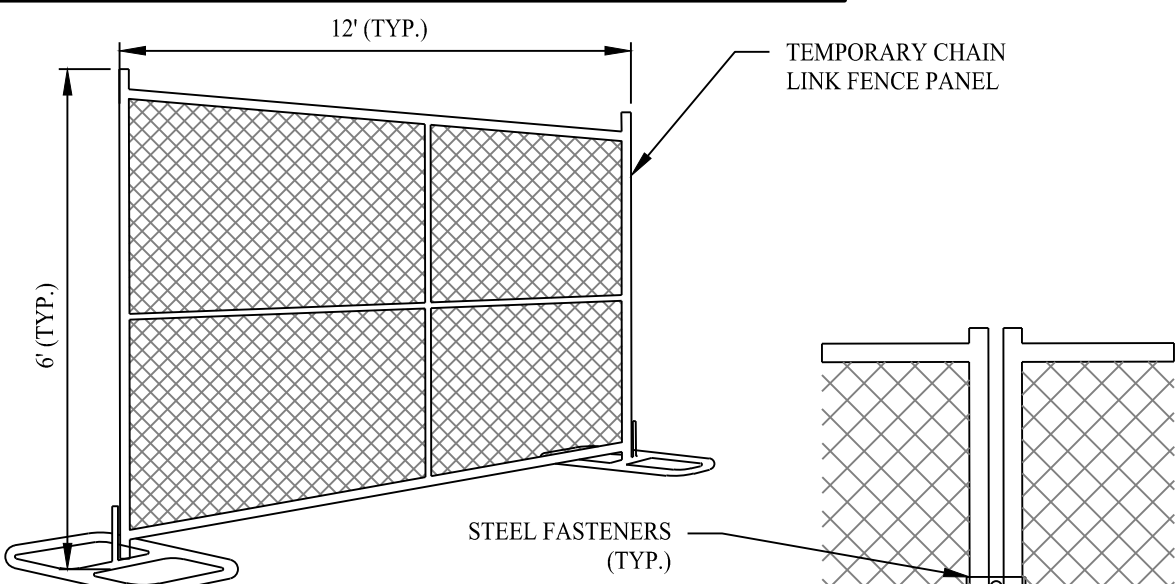
SCALE: NTS



- NOTES:
1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPING FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS OR STREAMS IS PERMITTED.
  2. EXCESS CONCRETE IS NOT PERMITTED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY WASHOUT AREAS (REFER TO SHEET 2.32).
  3. ONCE WASHOUT AREA IS 75% FULL, CONTRACTOR TO CLEAN OUT OR REPLACE AREA.
  4. PLASTIC LINING SHALL BE MINIMUM 10 MIL, POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
  5. HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFF-SITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.

## CONCRETE WASHOUT DETAIL

SCALE: NTS



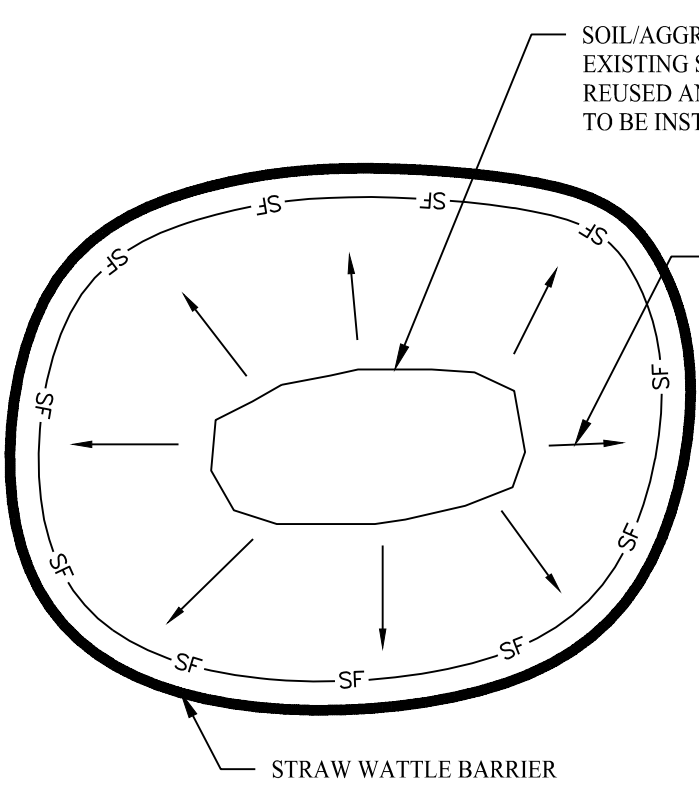
- NOTES:
1. FENCING PANELS COMPLY WITH ASTM - A392-06 STANDARDS.
  2. GALVANIZED STEEL, CORROSION-RESISTANT ZINC COATING.
  3. 36\"/>
  4. TYPICAL FENCE WIDTH: 12\"/>
  5. SCREENING MADE OF RESILIENT HDPE POLYETHYLENE, WITH 88% BLOCKAGE.
  6. REINFORCED SCREENING WITH HEMMED EDGES AND STEEL GROMMETS.
  7. SCREEN HEIGHT: 5'-8\"/>
  8. SCREEN COLORS: GREEN, TAN, BLUE, OR RED.

## TEMPORARY CONSTRUCTION FENCE DETAIL

SCALE: NTS

## PHASE II - SOIL EROSION & SEDIMENT CONTROL PLAN

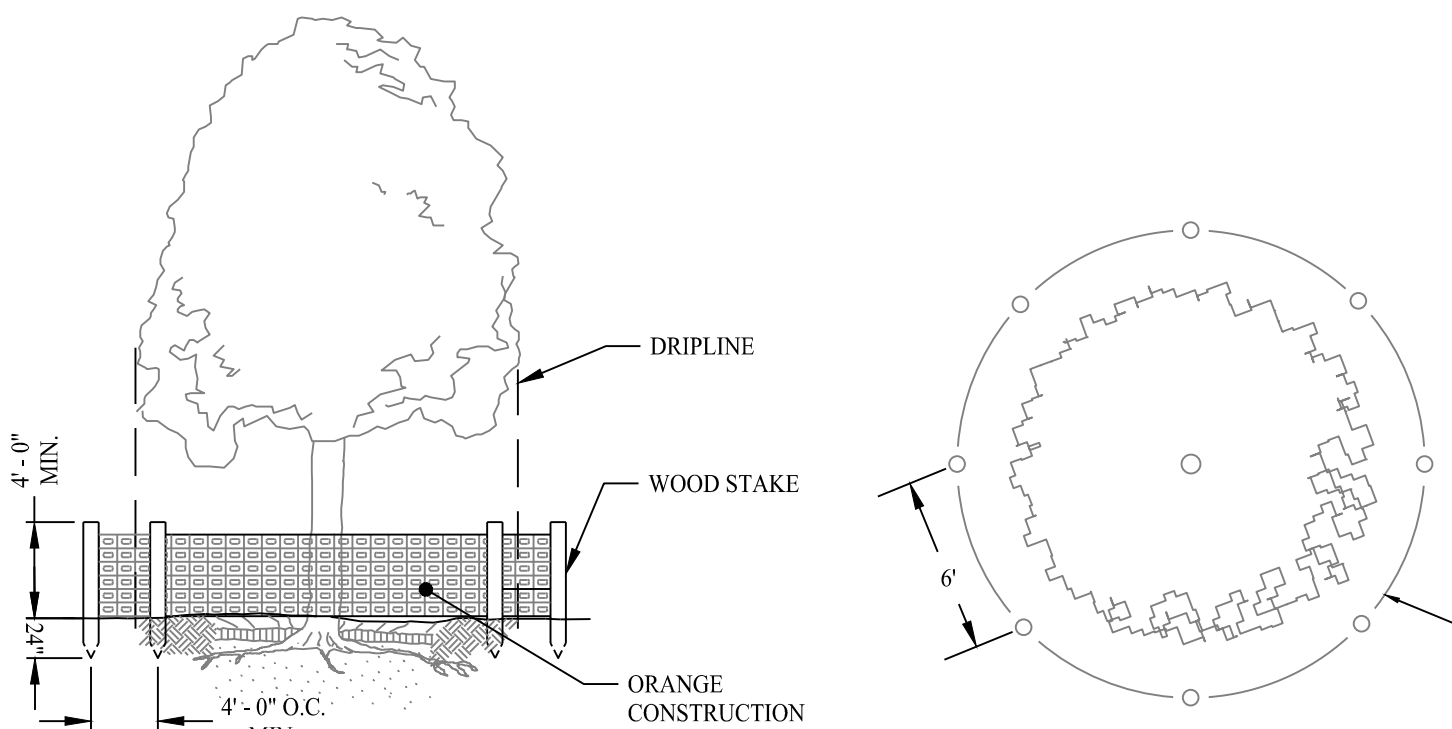
SCALE: 1" = 20'



## MATERIALS STOCKPILE DETAIL BARRIER

SCALE: NTS

- NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
  2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS OR WHERE APPROVED BY CIVIL ENGINEER.
  3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
  4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.



## TYPICAL TREE PROTECTION DETAIL

SCALE: NTS



**CERTIFIED ABUTTERS LIST****Date: February 28, 2025****Subject Property Location: 15 RYDER ST Arlington, MA****Subject Parcel ID: 57-2-11****Search Distance: 100 Feet Conservation**

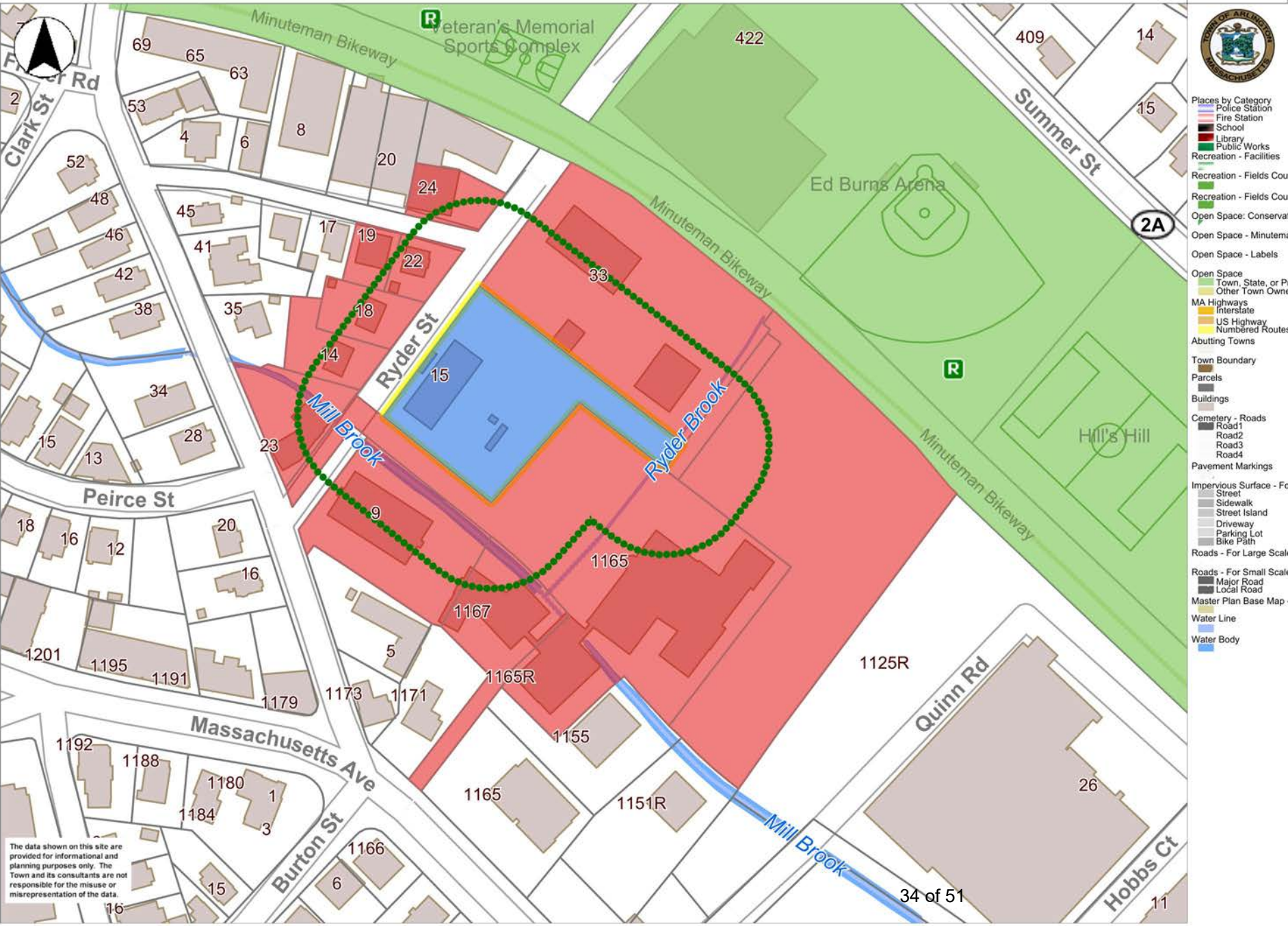
Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address1	Mail Address 2	City/Town	State	Zip
57-2-15	0-LOT RYDER ST	YUKON REALTY LLC		1125 MASS AVE		ARLINGTON	MA	02476
57-2-15.C	0-LOT RYDER ST	MIRAK TRUCK CENTER LLC		1151 R MASS AVE		ARLINGTON	MA	02476
57-2-10.C	1167 MASS AVE	ARLINGTON CENTER GARAGE &	SERVICE CORP	438 MASS AVE	SUITE 127	ARLINGTON	MA	02474
57-1-6.A	24 BECK RD	PUOPOLO STEPHEN L/TRUSTEE	3789 REALTY TRUST	24 BECK RD		ARLINGTON	MA	02476
57-2-1	22 RYDER ST	AZAR BRIAN E/ETAL	AZAR KRISTIN M	22 RYDER ST		ARLINGTON	MA	02476
57-2-2	19 BECK RD	LIANG LIU	CHEN GANG	24 BELLFLOWER ST		LEXINGTON	MA	02421
57-2-7.B	14 RYDER ST	WEBER NICOLE R		14 RYDER ST		ARLINGTON	MA	02476
57-2-7.C	18 RYDER ST	DESHPANDE NAREN/ANUJA		18 RYDER ST		ARLINGTON	MA	02476
57-2-8.A	23 FOREST ST UNIT A	MENDEZ ADNAI		23 FOREST ST	UNIT A	ARLINGTON	MA	02476
57-2-8.B	23 FOREST ST UNIT B	TEE ALEXANDER K	CONTRERAS MARIAH	2 RYDER ST	UNIT B	ARLINGTON	MA	02476
57-2-10.B	1157--1163 MASS AVE	1165R MASS MA PROPERTY LLC	C/O SPAULDING & SLYE INVESTMNT	71 COMMERCIAL ST	STE 266	BOSTON	MA	02109
<b>57-2-11</b>	<b>15 RYDER ST</b>	<b>ABCJ LAND LLC</b>		<b>438 MASS AVE</b>	<b>SUITE 127</b>	<b>ARLINGTON</b>	<b>MA</b>	<b>02476</b>
57-2-11.B	33 RYDER ST	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
57.B-1-1	9 RYDER ST UNIT 1	TZOVARAS GREGORIOS/ TRUSTEE	GREGORIOS TZOVARAS TRUST	3 THOMAS ST		WOBURN	MA	01801
57.B-1-2	9 RYDER ST UNIT 2	CASEY TERESAE C		15 MARKET ST		BILLERICA	MA	01821
57.B-1-3	9 RYDER ST UNIT 3	BUTTERS ARLENE		9 RYDER ST	UNIT 3	ARLINGTON	MA	02476
57.B-1-5	9 RYDER ST UNIT 5	DOTALO CAROL A		9 RYDER ST	#5	ARLINGTON	MA	02476
57.B-1-6	9 RYDER ST UNIT 6	YANG JIQIN/LUO GUOYING	TRS/THE YANG AND LUO TRUST	21 HERITAGE DR		LEXINGTON	MA	02420
57.B-1-7	9 RYDER ST UNIT 7	LI YANG		32B SUMMER ST	#2	EVERETT	MA	02149
57.B-1-8	9 RYDER ST UNIT 8	GRAZIANO GERALD J		59 THESDA ST		ARLINGTON	MA	02474
57.B-1-9	9 RYDER ST UNIT 9	CHEN JERRY C		18 DOUGLAS RD		LEXINGTON	MA	02420
57.B-1-10	9 RYDER ST UNIT 10	HAMPTON SHELDON		9 RYDER ST	#10	ARLINGTON	MA	02476
57.B-1-11	9 RYDER ST UNIT 11	HAN XIAOGANG	DONG JENNIFER	508 LOWELL ST		LEXINGTON	MA	02420
57.B-1-12	9 RYDER ST UNIT 12	AGUILAR LUZ G		9 RYDER ST	UNIT 12	ARLINGTON	MA	02476
57.B-1-13	9 RYDER ST UNIT 13	WINNIG-GIULIANO MICHAEL R		241 GLEZEN LN		WAYLAND	MA	01778
57.B-1-14	9 RYDER ST UNIT 14	GILMARTIN WILLIAM T		9 RYDER ST	#14	ARLINGTON	MA	02476
57.B-1-15	9 RYDER ST UNIT 15	RYDER STREET LLC		46 COLUMBIA RD		ARLINGTON	MA	02474
57.B-1-16	9 RYDER ST UNIT 16	JACOB JOAN/TRUSTEE	33 REGENT RD TRUST	C/O JOAN APETKER	107 CLOCKTOWER DR UNIT 204	WALTHAM	MA	02452
57.B-1-17	9 RYDER ST UNIT 17	CHIN YOLANDA & JENNIFER		17 PIEDMONT ST		ARLINGTON	MA	02474
57.B-1-18	9 RYDER ST UNIT 18	PETITTO ANGLEA E & CAERINA LINA	PETITTO JACQUELINE ELVIRA	9 RYDER ST	#18	ARLINGTON	MA	02474
57.B-1-19	9 RYDER ST UNIT 19	BALIJPALLI SURYA		9 PALM CT		EDISON	NJ	08820

**CERTIFIED ABUTTERS LIST****Date: February 28, 2025****Subject Property Location: 15 RYDER ST Arlington, MA****Subject Parcel ID: 57-2-11****Search Distance: 100 Feet Conservation**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address1	Mail Address 2	City/Town	State	Zip
57.B-1-20	9 RYDER ST UNIT 20	RAFI SHOWKAT A		PO BOX 1134		BURLINGTON	MA	01803
57.B-1-21	9 RYDER ST UNIT 21	CHIN RUSSELL		17 PEARL ST		LEXINGTON	MA	02420
57.B-1-22	9 RYDER ST UNIT 22	OWEN GERALDINE M ETAL/TRUSTEES	EDWARD R OWEN FAMILY TRUST	9 RYDER ST	#22	ARLINGTON	MA	02476
57.B-1-23	9 RYDER ST UNIT 23	KIM JIN W & SUNGJA Y		1 BLANCHARD RD		CAMBRIDGE	MA	02138
57.B-1-24	9 RYDER ST UNIT 24	PERVEZ MOHAMMAD A		9 RYDER ST	UNIT 24	ARLINGTON	MA	02476



**Town of Arlington**  
**Office of the Board of Assessors**  
**730 Massachusetts Ave**  
**Arlington, MA 02476**  
**phone: 781.316.3050**  
**email: [assessors@town.arlington.ma.us](mailto:assessors@town.arlington.ma.us)**



- Places by Category
- Police Station
  - Fire Station
  - School
  - Library
  - Public Works
  - Recreation - Facilities
- Recreation - Fields Courts
- Recreation - Fields Courts
  - Open Space: Conservation
  - Open Space - Minuteman
  - Open Space - Labels
- Open Space
- Town, State, or Private
  - Other Town Owned
- MA Highways
- Interstate
  - US Highway
  - Numbered Routes
- Abutting Towns
- Town Boundary
- Parcels
- Buildings
- Cemetery - Roads
- Road1
  - Road2
  - Road3
  - Road4
- Pavement Markings
- Impervious Surface - For B
- Street
  - Sidewalk
  - Street Island
  - Driveway
  - Parking Lot
  - Bike Path
- Roads - For Large Scale (F
- Roads - For Small Scale (F
- Major Road
  - Local Road
- Master Plan Base Map - M
- Water Line
- Water Body

## AFFIDAVIT OF SERVICE

I, *Sam T Malafronte, PE (Solli Engineering, LLC / Applicant's Representative)*, being duly sworn, do hereby state as follows: on *March 5<sup>th</sup>, 2025*, I mailed a "Notification to Abutters" in compliance with the second paragraph of Massachusetts General Laws, Chapter 131, s.40, the DEP Guide to Abutter Notification dated April 8, 1994, and the Arlington Wetlands Protection Bylaw, Title V, Article 8 of the Town of Arlington Bylaws in connection with the following matter:

*Project Description:*

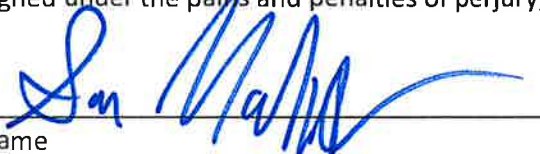
*The project proposes site improvements and a building addition for the proposed Arlington Brewing Company. The project consists of a 960± square-foot addition onto the existing masonry building, and the construction of a 2,630± square-foot Beer Garden located to the east of the existing building. The project will result in a total land disturbance of approximately 6,005± square-feet, all of which is located within the previously developed 200' Riverfront Area of the Mill Brook. The project results in a 4,480± square-foot reduction of asphalt surfaces for the property, compared to existing conditions.*

*Project Address or Location:*

*15 Ryder Street, Arlington, Massachusetts*

The form of the notification, and a list of the abutters to whom it was provided and their addresses, are attached to this Affidavit of Service.

Signed under the pains and penalties of perjury, this *5th* of *March*, 2025.

  
Name

## ABUTTER NOTIFICATION

### Notification to Abutters Under the Massachusetts Wetlands Protection Act and Arlington Wetlands Protection Bylaw

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the Arlington Wetlands Protection Bylaw, you are hereby notified of the following:

The Conservation Commission will hold a virtual public meeting using Zoom, on *March 20<sup>th</sup>, 2025* at 7:00 PM in accordance with the provisions of the Mass. Wetlands Protection Act (M.G.L. Ch. 131, s. 40, as amended), the Town of Arlington Bylaws Article 8, Bylaw for Wetland Protection, and in accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, for a Notice of Intent from ABC Beer Inc dba Arlington Brewing Company, for Site work and a commercial addition onto the existing structure at 15 Ryder Street within 100 feet of a wetland, on Assessor's Property Map/s #57-2, Lot/s #11. Please refer to the Commission's online meeting agenda for specific Zoom meeting access information.

A copy of the application and accompanying plans are available by request by contacting the Arlington Conservation Commission at 781-316-3012 or [concomm@town.arlington.ma.us](mailto:concomm@town.arlington.ma.us). For more information, call the applicant's representative (Solli Engineering, LLC) (781-352-8491), the Arlington Conservation Commission (781-316-3012), or the DEP Northeast Regional Office (978-694-3200).

NOTE: Notice of the Public Hearing will be published at least five (5) business days in advance in *The Advocate and Star* and will also be posted at least 48 hours in advance in the Arlington Town Hall.





## NOTICE OF INTENT NARRATIVE

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**To:** Town of Arlington Conservation Commission  
David Morgan / Environmental Planner & Conservation Agent

**From:** Sam T Malafronte, PE / Solli Engineering, LLC

**Subject:** Notice of Intent  
Proposed Site Improvements  
Arlington Brewing Company  
15 Ryder Street, Arlington, MA  
Project No.: 25200801

**Date:** 03/04/2025

**CC:** Tom Allen (Founder) / Arlington Brewing Company

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Solli Engineering (Solli) has prepared this Notice of Intent Narrative (Narrative) to summarize the proposed project for the Arlington Brewing Company located at 15 Ryder Street (MBLU: 57-2-11) in Arlington, Massachusetts. The project has been designed in compliance with the Town of Arlington Wetland Protection Regulations and the Massachusetts Wetlands Protection Act (*310 CMR 10.00 Wetlands Protection Act*). For more information beyond the information provided below, refer to the NOI Permitting Plan Set submitted in conjunction with this Narrative.

1. Description of the Project

The Applicant, Arlington Brewing Company, is proposing a 960± square-foot addition, a new 2,630± square-foot Beer Garden, landscaping and fencing improvements, and several pedestrian friendly features at the property of 15 Ryder Street (MBLU: 57-2-11) in Arlington, Massachusetts. The project will result in a total land disturbance of approximately 6,005± square-feet, all of which is located within the previously developed 200' Riverfront Area of the Mill Brook.

2. Existing Site Conditions

The Site, located along the eastern corridor of Ryder Street, consists of a 1.049± acre parcel that is fully developed and improved with a 4,000± square-foot, single-story, masonry building with associated paved areas surrounding the building. The Site is bound by Ryder Street to the west and commercial development to the south, east and north. Approximately 30' to the south of the Site is the Mill Brook that traverses the area from west to east within a concrete conduit.

3. Regulated Areas

*Existing Soil Conditions* - According to soil survey mapping, obtained from the Natural Resource Conservation Service (NRCS), the surface soils on the Site include "Merrimac-Urban Land" and "Udorthents". Merrimac-Urban Land has a specified hydrologic rating of "A", but Udorthents have a wet substratum. For more information regarding the surface soil conditions of the Site, refer to the enclosed Figure 2 - Soil Survey Map.

*FEMA Floodplain* - According to FEMA Flood Insurance Rate Map, Map Number 25025C0017K, effective date July 3, 2024, the Site is partially within a Zone X Shaded area which is an area with an annual flood risk between 1% and 0.2%. For more information regarding the FEMA floodplains refer to the enclosed Figure 3 - FEMA Flood Map and the Boundary, Topographic, and Utility Survey submitted within the NOI Permitting Plan Set.

*Endangered and Rare Species* - According to online mapping provided from the Massachusetts Department of Environmental Protection (MassDEP) ArcGIS Endangered and Rare Species Protection areas, the Site is not

located with an Endangered and Rare Species Protection Area. For more information, refer to the enclosed Figure 4 – Endangered and Rare Species Map.

4. Wetland Resource Areas

As previously stated, approximately 30' to the south of the Site is the Mill Brook which is a perennial stream. The Mill Brook traverses from west to east and in this location is delineated by two concrete walls. The limits of the Brook (concrete conduit) have an associated 200' Riverfront Area perpendicular to the stream limits in accordance with 310 CMR 10.58. The property is entirely developed, largely improved with impervious surfaces, and is located within the Riverfront Area. The project will result in a total land disturbance of approximately 6,005± square-feet, all of which is located within the previously developed 200' Riverfront Area of the Mill Brook. The proposed development complies with 310 CMR 10.58(5) *Redevelopment within Previously Developed Riverfront Areas; Restoration and Mitigation*:

- 10.58(5)(a) - *At a minimum, proposed work shall result in an improvement over existing conditions of the capacity of the riverfront area to protect the interests identified in M.G.L. c. 131 § 40. When a lot is previously developed but no portion of the riverfront area is degraded, the requirements of 310 CMR 10.58(4) shall be met.*
  - **The project proposes a significant improvement to the existing developed area within the Mill Brook Riverfront Area. The project proposes a 4,480± square-foot reduction in impervious surfaces and increased pervious areas consisting of landscaping / trees, compared to existing conditions.**
- 10.58(5)(b) - *Stormwater management is provided according to standards established by the Department.*
  - **Refer to the Stormwater Management section of this Narrative.**
- 10.58(5)(c) - *Within 200 foot riverfront areas, proposed work shall not be located closer to the river than existing conditions or 100 feet, whichever is less, or not closer than existing conditions within 25 foot riverfront areas, except in accordance with 310 CMR 10.58(5)(f) or (g).*
  - **The project proposes all disturbance within existing limits of disturbance. At no point do the site improvements encroach within 30' of the Mill Brook. Adequate erosion control barriers are proposed to prevent sediment laden runoff from leaving the construction site.**
- 10.58(5)(d) - *Proposed work, including expansion of existing structures, shall be located outside the riverfront area or toward the riverfront area boundary and away from the river, except in accordance with 310 CMR 10.58(5)(f) or (g).*
  - **As mentioned, the property is located almost entirely within the 200' Riverfront Area and the proposed addition is located as far from the Mill Brook as feasible based on the location of the existing building.**
- 10.58(5)(e) - *The area of proposed work shall not exceed the amount of degraded area, provided that the proposed work may alter up to 10% if the degraded area is less than 10% of the riverfront area, except in accordance with 310 CMR 10.58(5)(f) or (g).*
  - **In existing conditions, greater than 10% of the property's Riverfront Area is currently degraded. The project does not increase the amount of degradation within the Mill Brook Riverfront Area.**
- 10.58(5)(f) - *When an applicant proposes restoration on-site of degraded riverfront area, alteration may be allowed notwithstanding the criteria of 310 CMR 10.58(5)(c), (d), and (e) at a ratio in square feet of at least 1:1 of restored area to area of alteration not conforming to the criteria. Areas immediately along the river shall be selected for restoration. Alteration not conforming to the criteria shall begin at the riverfront area boundary. Restoration shall include: 1. removal of all debris, but retaining any trees or other mature vegetation; 2. grading to a topography which reduces runoff and increases infiltration; 3. coverage by topsoil at a depth consistent with natural conditions at the site; and 4. seeding and planting with an erosion control seed mixture, followed by plantings of herbaceous and woody species appropriate to the site;*
  - **Not applicable.**

- 10.58(5)(g) - When an applicant proposes mitigation either on-site or in the riverfront area within the same general area of the river basin, alteration may be allowed notwithstanding the criteria of 310 CMR 10.58(5)(c), (d), or (e) at a ratio in square feet of at least 2:1 of mitigation area to area of alteration not conforming to the criteria or an equivalent level of environmental protection where square footage is not a relevant measure. Alteration not conforming to the criteria shall begin at the riverfront area boundary. Mitigation may include off-site restoration of riverfront areas, conservation restrictions under M.G.L. c. 184, §§ 31 through 33 to preserve undisturbed riverfront areas that could be otherwise altered under 310 CMR 10.00, the purchase of development rights within the riverfront area, the restoration of bordering vegetated wetland, projects to remedy an existing adverse impact on the interests identified in M.G.L. c. 131, § 40 for which the applicant is not legally responsible, or similar activities undertaken voluntarily by the applicant which will support a determination by the issuing authority of no significant adverse impact. Preference shall be given to potential mitigation projects, if any, identified in a River Basin Plan approved by the Secretary of the Executive Office of Energy and Environmental Affairs.
  - **Not applicable.**
- 10.58(5)(h) - The issuing authority shall include a continuing condition in the Certificate of Compliance for projects under 310 CMR 10.58(5)(f) or (g) prohibiting further alteration within the restoration or mitigation area, except as may be required to maintain the area in its restored or mitigated condition. Prior to requesting the issuance of the Certificate of Compliance, the applicant shall demonstrate the restoration or mitigation has been successfully completed for at least two growing seasons.
  - **Not applicable.**

5. Site Landscaping

In existing conditions, the Site is almost entirely covered with building area and pavement (impervious surfaces), with the exception of a small, landscaped island to the south of the building that is improved with a Conifer Tree. The project proposes to maintain the existing Conifer Tree and install three (3) Sun Valley Maple Trees along the east side of the proposed beer garden, and five (5) Flowering Dogwood Trees along the frontage.

6. Stormwater Management

This section is intended to be in compliance with the Massachusetts Stormwater Handbook, updated February 2008, and the Town of Arlington Stormwater Management Rules and Regulations (04/08/2022). The project was designed to meet the stormwater management standards and best management practices defined in the Massachusetts Stormwater Handbook, while taking prevailing site conditions and practical considerations into account.

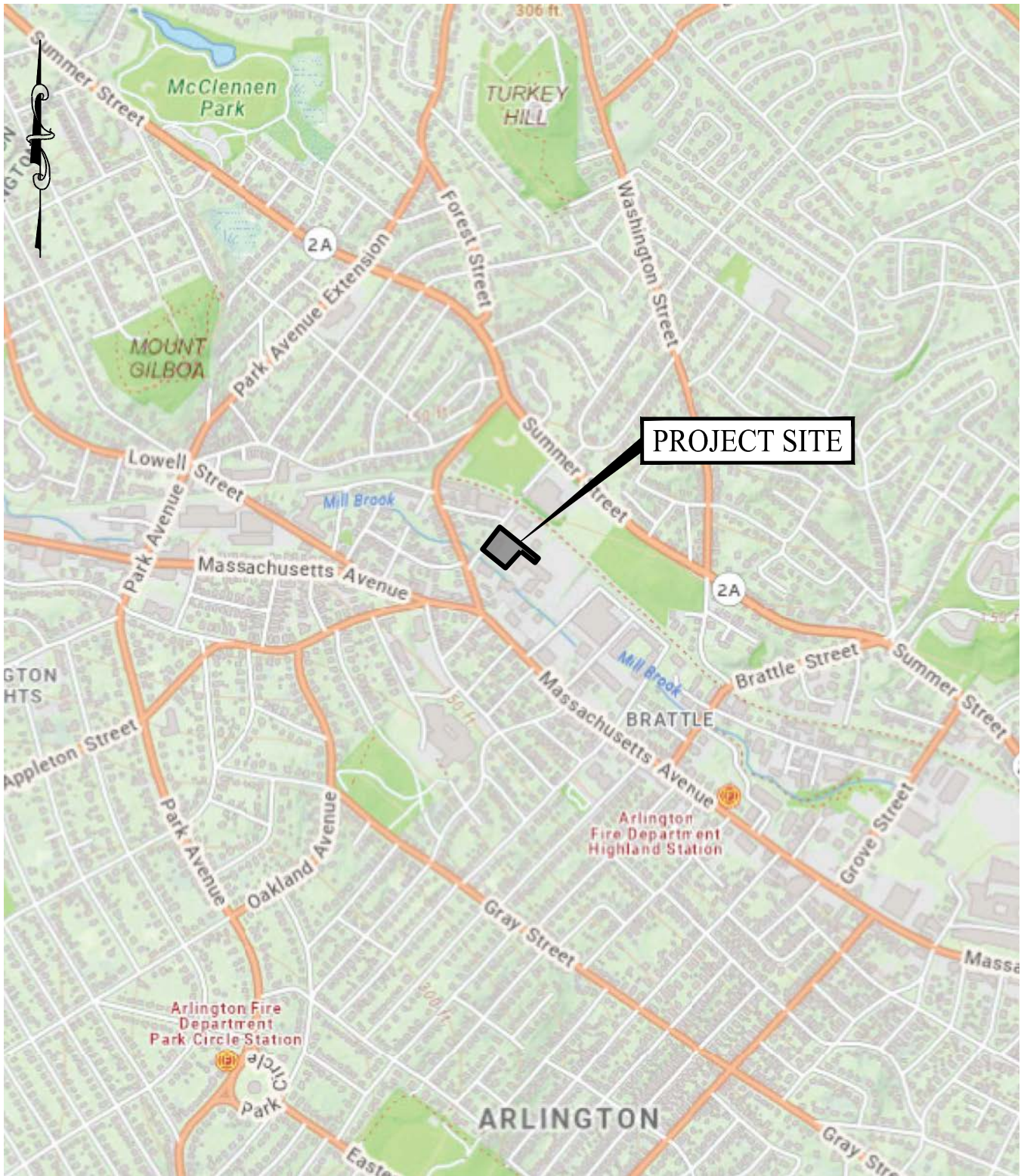
- Standard 1: Discharge Protection - No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.
  - **Not applicable, the project does not propose any new stormwater conveyances.**
- Standard 2: Attenuation - Stormwater management systems shall be designed so that the post-development peak discharge rates do not exceed pre-development peak discharge rates.
  - **The project proposes a 4,480± square-foot reduction in impervious surfaces compared to existing conditions. This significant decrease in impervious surfaces will result in a post-development peak discharge rate beneath pre-development peak discharge rates. Additional attenuation measures are not proposed.**
- Standard 3: Recharge - At a minimum, the annual recharge from post-development site shall be approximately the same as the annual recharge from pre-development conditions based on soil type. This is met when the stormwater management system is designed to infiltrate the required recharge volume as determined in accordance with the Massachusetts Stormwater Handbook.
  - **The project proposes a 4,480± square-foot reduction in impervious surfaces compared to existing conditions. This significant decrease in impervious surfaces will result in increased recharge compared to pre-development conditions due to the increase in pervious area.**

- Standard 4: Water Quality - The proposed development has been designed with stormwater treatment that incorporates structural best-management practices designed to remove 80% of the average annual post-construction load of Total Suspended Solids (TSS).
  - **The project does not propose a stormwater management system and does not propose any stormwater treatment beyond the gravel outdoor space which will allow for the settling of sediment prior to infiltration occurs. This Standard has been met to the maximum extent practicable as strict compliance would render financial burdens on the Applicant.**
- Standard 5: Pollution Prevention - For land uses with higher potential pollutant loads, source control and pollution prevention shall be implemented in accordance with the Massachusetts Stormwater Handbook to eliminate or reduce the discharge of stormwater runoff from such land uses to maximum extent practical.
  - **Not applicable, this land use is not a lane use with higher potential pollutant loads.**
- Standard 6: Zone II / Wellhead Protection Area - Stormwater discharge within the Zone II or Interim Wellhead Protection Area of a public water supply and stormwater discharges near or to any other critical area required the use of specific source control and pollution prevention measures and the specific structural stormwater best management practices determined by the Department to be suitable for managing discharges to such areas, as provided in the Massachusetts Stormwater Handbook.
  - **According to the State of Massachusetts' online GIS mapping, the Site is NOT located within the Zone I, Zone II, or Interim Wellhead Protection area of a public water supply watershed.**
- Standard 7: Redevelopment Project - A redevelopment project is required to meet the following Stormwater Management Standards only to maximum extent practical: Standard 2, Standard 3, Standard 4, Standard 5, and Standard 6.
  - **The project proposes a 4,480± square-foot reduction in impervious surfaces, compared to existing conditions, and qualifies as a "Redevelopment Project". The project has been designed to meet Standard 2, Standard 3, Standard 4, Standard 5, and Standard 6 to the maximum extent practical.**
- Standard 8: Soil Erosion & Sediment Control - A plan to control construction-related impacts, including erosion, sedimentation, and other pollutant sources during construction and land disturbance activities shall be developed and implemented.
  - **The project proposes adequate erosion and sediment control measures during construction to prevent construction-related impacts from impacting the Mill Brook. Refer to the Erosion and Sediment Control Plans submitted in conjunction with this Narrative.**
- Standard 9: Long-Term Operation & Maintenance Plan - A Long-Term Operation and Maintenance (O&M) Plan shall be developed and implemented to ensure that stormwater management systems function as designed.
  - **Not applicable, the project does not propose any stormwater management system.**
- Standard 10: Illicit Discharges - All illicit discharges to the stormwater management system are prohibited.
  - **The Project does not propose a stormwater management system, and the Applicant is unaware of any existing illicit discharges. If any were to be discovered during construction the source will be investigated, and the Applicant will work with the Conservation Agent to eliminate the connection.**

**Enclosures:**

- Figure 1 – Site Location Map
- Figure 2 – Soil Survey Map
- Figure 3 – FEMA Flood Map
- Figure 4 – Natural Heritage & Endangered Species Map





NOTE: BASE MAP INFORMATION TAKEN FROM  
[MAPS.MASSGIS.DIGITAL.MASS.GOV/MASSMAPPER](https://maps.massgis.digital.mass.gov/massmapper)



11 Vanderbilt Ave, Norwood, MA 02062  
 T: (781) 352-8491 | F: (203) 880-9695

## SITE LOCATION MAP

15 RYDER STREET  
 ARLINGTON, MASSACHUSETTS

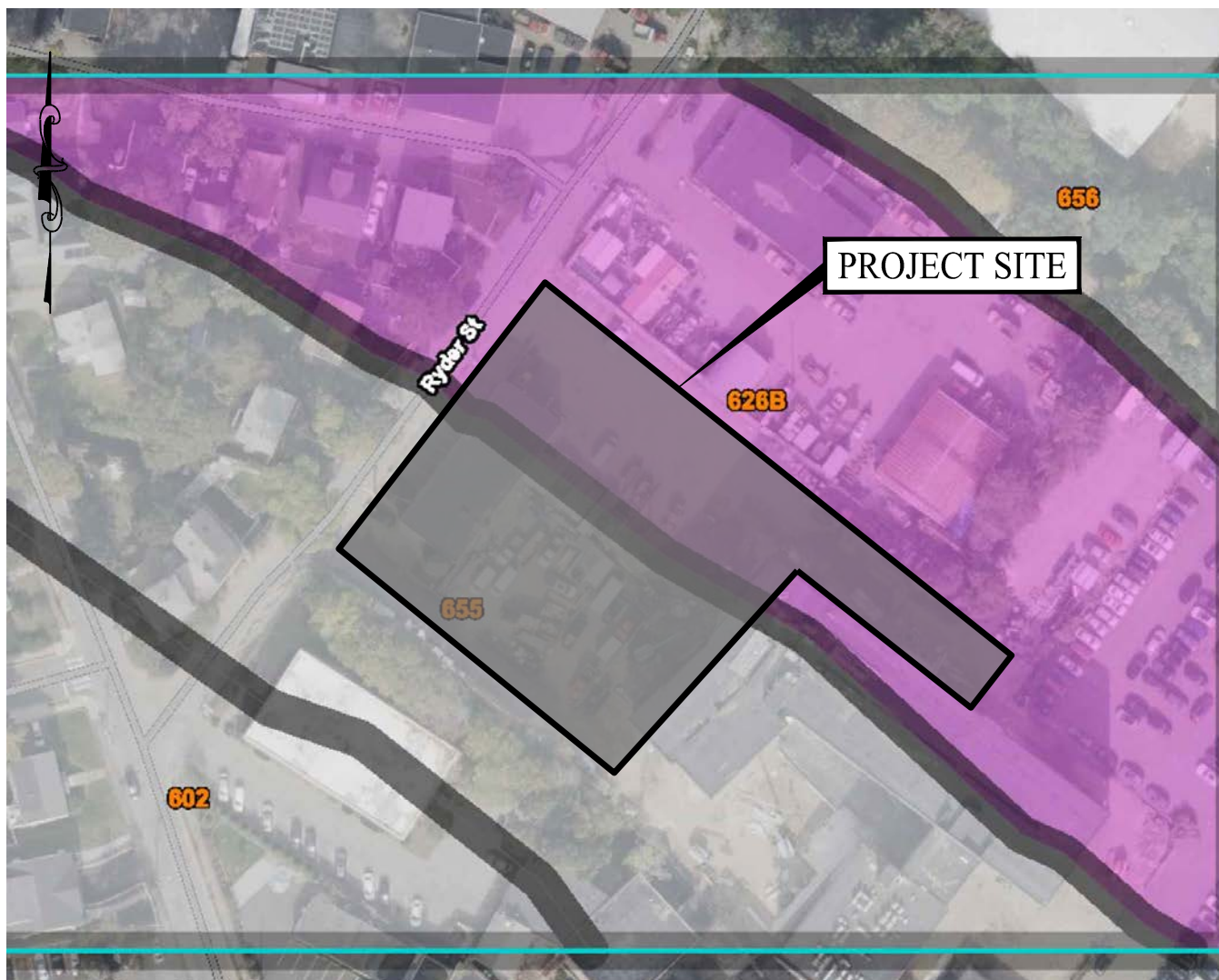
Project #: 25200801

Plan Date: 03/04/25

Scale: 1" = 1,000'

Figure: 41 of 51 1





Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
602	Urban land		1.2	14.0%
626B	Merrimac-Urban land complex, 0 to 8 percent slopes	A	3.6	43.2%
655	Udorthents, wet substratum		2.9	35.1%
656	Udorthents-Urban land complex		0.6	7.7%
<b>Totals for Area of Interest</b>			<b>8.4</b>	<b>100.0%</b>

NOTE: BASE MAP INFORMATION TAKEN  
FROM THE NATURAL RESOURCES  
CONSERVATION SERVICE URL:  
(<https://websoilsurvey.sc.egov.usda.gov>).



11 Vanderbilt Ave, Norwood, MA 02062  
T: (781) 352-8491 | F: (203) 880-9695

## SOIL SURVEY MAP

15 RYDER STREET  
ARLINGTON, MASSACHUSETTS

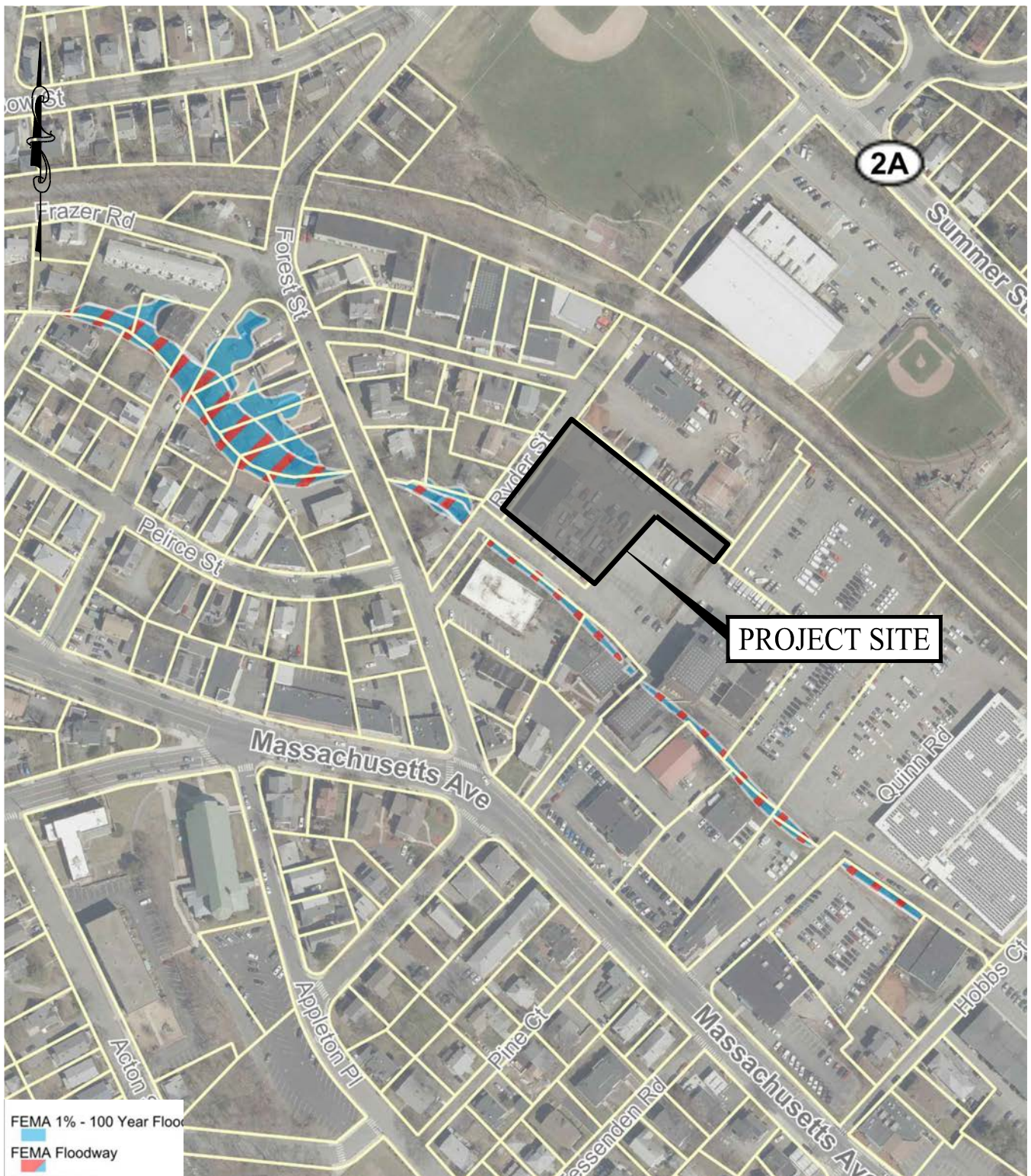
Project #: 25200801

Plan Date: 03/04/25

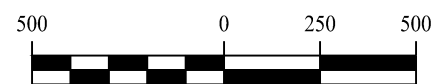
Scale: 1" = 100'

Figure: 42 of 51 2





NOTE: BASE MAP INFORMATION TAKEN  
FROM ARLINGTON, MA GIS  
(<https://www.mapsonline.net/arlintonma/wetland.Html>)

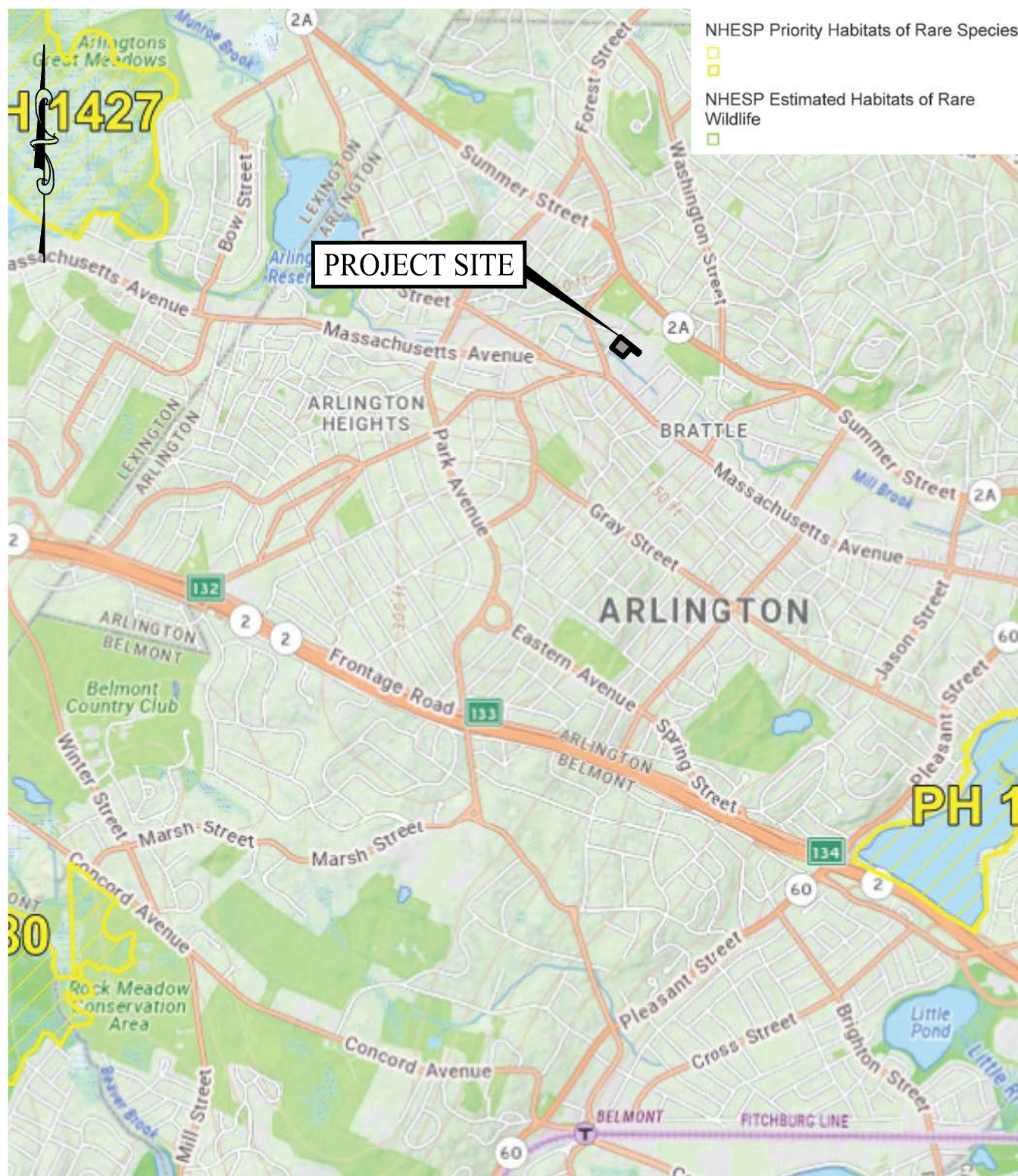


11 Vanderbilt Ave, Norwood, MA 02062  
T: (781) 352-8491 | F: (203) 880-9695

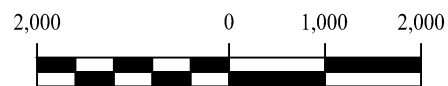
**FEMA FLOOD MAP**  
15 RYDER STREET  
ARLINGTON, MASSACHUSETTS

Project #:	25200801
Plan Date:	03/04/25
Scale:	1" = 500'
Figure:	43 of 51 3





**NOTE:** BASE MAP INFORMATION TAKEN FROM  
15TH EDITION NATURAL HERITAGE ATLAS, URL:  
MAPS.MASSGIS.DIGITAL.MASS.GOV/MASSMAPPER



11 Vanderbilt Ave, Norwood, MA 02062  
T: (781) 352-8491 | F: (203) 880-9695

NATURAL HERITAGE &  
ENDANGERED SPECIES MAP

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15 RYDER STREET  
ARLINGTON, MASSACHUSETTS

Project #:	25200801
Plan Date:	03/04/25
Scale:	1" = 2,000'
Figure:	44 of 51 4



9589 0710 5270 1421 7030 41

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total

\$ Sent To

Street

City, State, Zip

PUOPOLO STEPHEN  
3789 REALTY TRUST  
24 BECK ROAD  
ARLINGTON, MA 02476

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 1421 7030 34

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total P

\$ Sent To

Street

City, State, Zip

ABCJ LAND LLC  
438 MASSACHUSETTS AVE  
SUITE 127  
ARLINGTON, MA 02476

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 1421 7030 65

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Postage

\$ Sent To

Street and Apt

City, State, Zip

1165R MASS MA PROPERTY  
C/O SPAULDING & SLYE  
71 COMMERCIAL ST  
STE 266  
BOSTON, MA 02109

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Po

\$ Sent To

Street

City, State, Zip

AZAR BRIAN E/ETAL  
AZAR KRISTIN M  
22 RYDER STREET  
ARLINGTON, MA 02476

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total

\$ Sent To

Street

City, State, Zip

TOWN OF ARLINGTON PARK  
730 MASS AVE  
ARLINGTON, MA 02476

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**OFFICIAL USE**

Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Pos

\$ Sent To

Street and

City, State, Zip

ARLINGTON CENTER GARAGE  
SERVICE CORP  
438 MASS AVENUE SUITE 127  
ARLINGTON, MA 02474

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage \$

Sent To  
MIRAK TRUCK CENTER LLC  
1151 R MASS AVE  
ARLINGTON, MA 02476

Street and Apt.  
City, State, ZIP+

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage \$

Sent To  
WEBER NICOLE R  
14 RYDER ST  
ARLINGTON, MA 02476

Street and Apt.  
City, State, ZIP+

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage \$

Sent To  
MENDEZ ADNAI  
23 FOREST ST UNIT A  
ARLINGTON, MA 02476

Street and Apt.  
City, State, ZIP+

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage \$

Sent To  
YUKON REALTY LLC  
1125 MASS AVE  
ARLINGTON, MA 02476

Street and Apt.  
City, State, ZIP+

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage \$

Sent To  
LIANG LIU  
CHEN GANG  
24 BELLFLOWER STREET  
LEXINGTON, MA 02421

Street and Apt.  
City, State, ZIP+

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage \$

Sent To  
DESHPANDE NAREN/ANUJA  
18 RYDER STREET  
ARLINGTON, MA 02476

Street and Apt.  
City, State, ZIP+

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Certified Mail Fee	
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
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Total Postage	
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Sent To	
Street and Apt.	
City, State, ZIP	

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TZOVARAS GREGORIOS/  
GREGORIOS TZOVARAS TRUST  
3 THOMAS STREET  
WOBURN, MA 01801

MAR - 6 2025  
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9589 0710 5270 1421 7031 88

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	
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Total Postage	
\$	
Sent To	
Street and Apt.	
City, State, ZIP	

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

HAN XIAOGANG  
DONG JENNIFER  
508 LOWELL ST  
LEXINGTON, MA 02420

MAR - 6 2025  
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9589 0710 5270 1421 7032 01

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	
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Total Postage	
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Sent To	
Street and Apt.	
City, State, ZIP	

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WINNIG-GIULIANO MICHAEL  
241 GLEZEN LN  
WAYLAND, MA 01778

MAR - 6 2025  
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OFFICIAL USE	
Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	
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Total Postage	
\$	
Sent To	
Street and Apt.	
City, State, ZIP	

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TEE ALEXANDER K  
CONTRERAS MARIAH  
2 RYDER ST UNIT B  
ARLINGTON, MA 02476

MAR - 6 2025  
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OFFICIAL USE	
Certified Mail Fee	
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	
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Total Postage	
\$	
Sent To	
Street and Apt.	
City, State, ZIP	

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

HAMPTON SHELDON  
9 RYDER STREET #10  
ARLINGTON, MA 02476

MAR - 6 2025  
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OFFICIAL USE	
Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	
\$	
Total Postage	
\$	
Sent To	
Street and Apt.	
City, State, ZIP	

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AGUILAR LUZ G  
9 RYDER ST UNIT 12  
ARLINGTON, MA 02476

MAR - 6 2025  
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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Postage

Sent To

Street and Apt.

City, State, ZIP+4

RYDER STREET LLC  
46 COLUMBIA RD  
ARLINGTON, MA 02474

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Postage

Sent To

Street and Apt.

City, State, ZIP+4

CHIN YOLANDA & JENNIFER  
17 PIEDMONT ST  
ARLINGTON, MA 02474

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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Postage

Sent To

Street and Apt.

City, State, ZIP+4

BALIJEPAI SURYA  
9 PALM CT  
EDISON, NJ 08820

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Postage

Sent To

Street and Apt.

City, State, ZIP+4

GILMARTIN WILLIAM T  
9 RYDER ST #14  
ARLINGTON, MA 02476

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Postage

Sent To

Street and Apt.

City, State, ZIP

JACOB JOAN/TRUSTEE  
33 REGENT RD TRUST  
C/O JOAN APETKER  
107 CLOCKTOWER DR UNIT 204  
WALTHAM, MA 02452

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**OFFICIAL USE**

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$ Total Postage

Sent To

Street and Apt.

City, State

PETITTO ANGLEA E &  
PETITTO JACQUELINE  
9 RYDER ST #18  
ARLINGTON, MA 02474

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Certified Mail Fee	
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage  
\$  
Sent To  
Street and Apt.  
City, State, ZIP+4

Postmark Here

RAFI SHOWKAT A  
PO BOX 1134  
BURLINGTON, MA 01803

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Certified Mail Fee	
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage  
\$  
Sent To  
Street and Apt.  
City, State, ZIP+4

Postmark Here

OWEN GERALDINE M  
EDWARD R OWEN FAMILY  
9 RYDER ST #22  
ARLINGTON, MA 02476

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Certified Mail Fee	
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage  
\$  
Sent To  
Street and Apt.  
City, State, ZIP+4

Postmark Here

PERVEZ MOHAMMAD A  
9 RYDER ST UNIT 24  
ARLINGTON, MA 02476

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Certified Mail Fee	
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$  
Total Postage  
\$  
Sent To  
Street and Apt.  
City, State, ZIP+4

Postmark Here

CASEY TERESA E C  
15 MARKET STREET  
BILLERICA, MA 01821

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
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9 RYDER ST UNIT 3

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Postage

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**Sent To**

**Street and** LI YANG  
32B SUMMER ST #2

**City, State,** EVERETT, MA 02149

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Postage

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**Sent To**

**Street and Ap** YANG JIQIN/LUO GUOYING  
TRS/THE YANG AND LUO

**City, State, Zi** 21 HERITAGE DRIVE  
LEXINGTON, MA 02420

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

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**Sent To**

**Street and** CHEN JERRY C  
18 DOUGLAS ROAD

**City, State,** LEXINGTON, MA 02420

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

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59 THESDA STREET

**City, State, ZIP+4** ARLINGTON, MA 02474

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## AFFIDAVIT OF SERVICE

I, *Sam T Malafronte, PE (Solli Engineering, LLC / Applicant's Representative)*, being duly sworn, do hereby state as follows: on *March 6<sup>th</sup>, 2025*, I mailed a "Notification to Abutters" in compliance with the second paragraph of Massachusetts General Laws, Chapter 131, s.40, the DEP Guide to Abutter Notification dated April 8, 1994, and the Arlington Wetlands Protection Bylaw, Title V, Article 8 of the Town of Arlington Bylaws in connection with the following matter:

*Project Description:*

*The project proposes site improvements and a building addition for the proposed Arlington Brewing Company. The project consists of a 960± square-foot addition onto the existing masonry building, and the construction of a 2,630± square-foot Beer Garden located to the east of the existing building. The project will result in a total land disturbance of approximately 6,005± square-feet, all of which is located within the previously developed 200' Riverfront Area of the Mill Brook. The project results in a 4,480± square-foot reduction of asphalt surfaces for the property, compared to existing conditions.*

*Project Address or Location:*

*15 Ryder Street, Arlington, Massachusetts*

The form of the notification, and a list of the abutters to whom it was provided and their addresses, are attached to this Affidavit of Service.

Signed under the pains and penalties of perjury, this *6<sup>th</sup>* of *March, 2025*.

Name

